

**THE KENOSHA THEATRE**  
**for performing arts**

**Market Study**

**Architectural Analysis**

**August 1989**



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## INTRODUCTION

The Citizens Group for the Kenosha Theatre, Inc. (CGKT) was awarded a grant by the City of Kenosha for a marketing feasibility study and an architectural analysis for use in the restoration process of the Kenosha Theatre.

The A-E-C Group, Inc., Architects from Springfield, Illinois was commissioned by the CGKT to conduct surveys and develop a Market/Feasibility Study and a comprehensive Historical and Architectural Analysis of the Kenosha Theatre. This is the completed report on this work.

The conclusions and recommendations contained in this report are based on surveys conducted through newspapers, organizations, direct mailings to citizens, personal interviews and meetings with the CGKT and other groups. Information was also supplied by the City of Kenosha, Department of City Development. The architectural analysis of the Kenosha Theatre is based on site observations by members of the Architect's staff and his consultants.

August 1989

RECOMMENDATIONS:

The following recommendations are based on the results of this study. The order of listing does not establish priorities.

- Establish a Performing Arts Center for southeastern Wisconsin composed of several live stage facilities, each having its specialty menu. This image would truly be one of 'A Center for the Performing Arts'.
- The Kenosha Theatre has the greater potential to provide live touring performances and productions, therefore the theatre has a purpose and should be restored. The structure should be made weathertight to minimize further deterioration. The schedule to begin the restoration should be delayed until study and plans for redevelopment of the Lakeshore Business District and the Jupiter Lakeshore Development have been finalized.
- The Rhode Opera House should be converted and restored as a year-round dinner theatre. Dining is recommended to be in the 'House'. This conversion should not take place until after the Kenosha Theatre has been reopened. Until that time the theatre should continue operation utilizing one auditorium for live stage performances and the other auditorium as a movie house.
- The Reuther Auditorium should continue in its role as the home of the Kenosha Symphony Orchestra and hostess for community activities and events.
- The Orpheum Theatre could play a future role as a night club with live stage entertainment or a live stage theatre presenting specialty type performances and productions. The theatre could be an asset to the Performing Arts Center for southeastern Wisconsin; only time will tell. Further consideration is placed on 'Hold'.

To encourage coordination of the events and activities of the various arts groups, the Kenosha Arts Council should maintain an arts calendar of events. This calendar should be shared and used by the Kenosha Area Tourism Corporation to publicize and promote the arts image of Kenosha outside the community. This promotion must be a continuous, cooperative effort. The efforts will have added importance as the performing arts expand and have a greater need for a strong outreach into the expanded market areas.

The image theme for the downtown/lakeshore development area should include entertainment. The total packaged performing arts concept will contribute to the transformation of the now declining area into one with a viable people collector image. Being a part of this image will also be helpful in the fund raising.

A sound organization and management plan for the operation of the Kenosha Theatre should be adopted at least one year in advance of the grand opening. The Director/Promoter should be hired during the early months of that year.

To be financially successful and to maintain continuous public interest, the theatres must have year-round schedules.

Complete restoration initially is the most desirable, however the Kenosha Theatre renovation has been structured to permit phased construction programs.

Continue seeking out the missing appointments and artifacts from the Kenosha Theatre and the Rhode Opera House.

The planning of the integrated redevelopment of downtown/lakeshore will affect the Kenosha Theatre and the Rhode Opera House. The following recommendations are on items that are needed by the theatres for the convenience and safety of the patrons.

- A quality restaurant within walking distance to the Kenosha Theatre is needed. Dining overlooking the marina and Lake Michigan would be ideal.
- Adequate parking within two blocks of the theatres is needed. Parking areas to be well illuminated.
- In the planning of the downtown/lakeshore area, the traffic patterns near the theatres should be planned to permit the drop-off and pick-up of the patrons with minimum traffic congestion.
- Provide public transportation within a half block of the theatre entrances.
- Provide for tour buses loading and unloading.
- Faster and less congested access into the downtown/lakeshore area from I-94 is also very important to the theatres.

## MARKET/FEASIBILITY STUDY

### Market Area

Investigations indicated a local theatre market area consisting of Kenosha and Racine counties in Wisconsin population 258,000, and Lake County, Illinois, population in excess of 500,000, provides a potential local market in excess of 3/4 million people. Organized bus tours and effective tourism promotion can extend a theatre's market area to over a 50 mile radius. This extended market area is especially important for a dinner theatre. This size market area has the potential to support both a performing art theatre and a dinner theatre.

The extended market area would be those areas beyond the local market area. These areas are promoted with emphasis on group outings, bus tours and weekend vacations. Local and state tourism agencies can be effective in this type of promotion. This extended market would include metropolitan Chicago and other areas of northern Illinois, metropolitan Milwaukee and southeast Wisconsin.

## Analysis of Market/Feasibility Study

Surveys conducted in Kenosha, Kenosha County, Racine and Racine County produced the following results.

- Response to questionnaires was mainly from age 25 to beyond age 60. The median age was in the mid-fifties. Approximately 24 percent of the respondents were retired.
- The median annual income of the respondents was approximately \$36,000.
- Comedy, musical and drama performances received the strongest preference. Variety acts, dance performances and symphony followed with well over 50 percent ratings.
- The patrons of live theatre rated high quality of performance and a comfortable theatrical environment as top priority for their attendance.
- Kenoshans indicated a strong preference to attend live theatre performances locally, providing quality of performance and comfort is equal that found in the metropolitan areas.
- For top entertainment and quality of performance the median ticket price was in the \$15 range. This price range is financially feasible for a theatre having a 2,000 plus seating capacity.
- Kenosha area respondents indicated a 90% likelihood to attend performances at an entertainment center in downtown Kenosha, Racine area respondents indicated 70% likelihood.

Many comments were received on returned questionnaires.

All of the comments are printed in the 'Survey of the Market' section and the Appendix. You are encouraged



to read these comments. The following are positions expressed a number of times on the particular subject.

- There were pros and cons on whether Kenoshans would support a live entertainment center. There were considerably more pros than cons.
- Many people expressed the desire to have more opportunities to attend live performances in Kenosha. Some are now going to metropolitan areas but would prefer to not travel; others indicated they would attend locally more often. Attending local entertainment is the only opportunity for some people.
- Many people are active theatre goers and would welcome more opportunities to see live performances.
- There is an interest in live performances for children.
- Many people believe Kenosha is changing and support for live theatre will increase.
- There is interest in having a dinner theatre in Kenosha.
- Many theatre goers in the Racine area indicated they would attend live entertainment in Kenosha.
- Some people do not believe Kenosha can support two live performance theatres, others believe they will.
- Many believe the cultural image of Kenosha is enhanced when new art activities become available in the city.
- Many point out a need for more dining opportunities in the downtown area.
- Parking close to the theatre is important.

A study of the arts in Lake County, Illinois has resulted in the following conclusions.

- There is strong, supportive interest in performing arts. Most of the art organizations have been in existence for many years.
- The Effective Buying Income of the county is expected to be third highest in the nation by next year.
- The fastest growing housing area in the county is a corridor following I-94 north.
- Traveling distance to downtown Kenosha is less than that for two thirds of Lake County to travel to the Chicago loop. The northeast quadrant of the county is less than 30 miles from downtown Kenosha.

There is a strong live performing arts market in Lake County. It will take good promotion to direct part of that market to Kenosha for entertainment. The Kenosha Area Tourism Corporation promotes metropolitan Chicago and places some emphasis on entertainment opportunities in Kenosha.

#### Conclusions

A performing arts entertainment center will draw people into the downtown/lakeshore area and will contribute to the revitalization of the area.

A Performing Arts Entertainment Center will enhance the cultural image and the general image of Kenosha.

One of the comments received in a returned questionnaire.

"The development in Kenosha would be a tremendous asset in the field of the Arts for those of us who cannot often attend in Milwaukee or Chicago. It would be one way to improve the overall image of what Kenosha is all about! We would most definitely support the entertainment center!"

The extended market must be developed by the management of the Center and tourism.

The Kenosha Theatre must be completely renovated, refurbished and equipped with adequate technical support systems for live stage performances, and to create exciting theatrical environment and comfort for the audience.

The Kenosha Theatre is the only performing arts facility in the city with a large enough seating capacity to maintain ticket prices in the \$10 to \$19 range for good quality touring productions and performers.

There is a market for dinner theatre in the identified extended Kenosha market. Promotion and marketing is crucial for a successful dinner theatre.

The study has identified strong Kenosha support for live performing arts as did the Kenosha Focus 2000 study. A strong market also exists in Kenosha and Racine counties. Persistent promotion of the Lake County market should produce results:

- providing the Kenosha entertainment is high quality,
- the theatrical environment is exciting and comfortable,
- there is less travel time and inconvenience,
- the cost of the evening is comparable, or more reasonable than in metropolitan Chicago.

A Performing Arts Center as presented in this study would have the capability to provide a total package of live stage entertainment with a year-round schedule. The Kenosha Theatre and the Rhode Opera House are historic buildings:

- each is capable of being returned to their original splendor,
- each will have a purpose that will support the revitalization of the area by attracting people,
- Each will help fill the need to have more local exposure to the performing arts,
- each is worth saving.

Kenosha is fortunate to still have these theatres.  
The Kenosha Theatre and the Rhode Opera House should be  
reopened to present live performing art performances.

The following is from the Epilogue in the publication,  
the "Castle in Spain". A final quote from a little card  
that was posted by the Kenosha Theatre's main swithboard:

PLEASE DO NOT TURN ON THE CLOUDS  
UNTIL THE SHOW STARTS.  
BE SURE THE STARS ARE TURNED OFF  
WHEN LEAVING.

To which we add:

IT IS NOW TIME TO TURN  
THE LIGHTS BACK ON

## SURVEY OF MARKET

The objective of this section is to establish the present status and additional needs for performing arts in Kenosha.

### Kenosha, Kenosha County, Racine, Racine County & Walworth County

The following methods were used to obtain a concensus of the interest, support and involvement in the performing arts from citizens in Kenosha and the surrounding counties.

1. A citizen survey through newspapers, direct mailings and organizations.
2. A publicized 'Hot Line' for phone-in comments.
3. Individual interviews.
4. Group meetings.
5. Recent published surveys and reports.

A citizen's survey was conducted in Kenosha, Racine and Walworth counties. Distribution of the questionnaire and an introductory letter was through three channels.

1. Newspapers: Display ads in the Kenosha News, the Midweek Bulletin, the Kenosha News Courier and the Messenger. These newspapers have a total circulation of 84,000. Publications were in late October and early November, 1988.
2. Direct Mailings: There were two mailings. A self addressed, stamped return envelope was included.

The first mailing was in November 1988 and was sent to 406 individuals in Kenosha and Kenosha County. The selection of names was by a formulated pre-determined interval established so

that a minimum of 400 names would be selected by spanning the entire directory. All businesses, organizations, etc. were passed over. The directory used was the Kenosha, Wisconsin Bell, 1988-89 Edition.

The second mailing was in January 1989. A total of 1,047 questionnaires were sent to individuals listed in the Racine Theatre Guild mailing list. The coverage was Racine, Racine County, Kenosha, Kenosha County and Walworth County.

3. Service and Professional Organizations: Members of Kiwanis, Lions, Rotary, County Bar, and County Dental organizations completed questionnaires during their regular meetings during November, December and January. Eight organizations in Kenosha and Kenosha County participated. One Kiwanis organization in Racine also participated.

Walworth County coverage was through the newspapers and Direct Mailing No. 2. No responses were received from this county.

The total response to the questionnaire was 989. Following is the breakdown by locations.

	<u>Responses</u>	<u>%</u>
Kenosha	549	55.51%
Kenosha County	145	14.66%
Racine	169	17.09%
Racine County	126	12.74%
	<hr/>	<hr/>
	989	100.00%

The following is the breakdown by sources.

	<u>Responses</u>	<u>%</u>
Newspapers	229	23.16%
Service & Professional Organizations	183	18.50%
Direct Mailing #1 (30% response)	120	12.13%
Direct Mailing #2 (44% response)	457	46.21%
	<u>989</u>	<u>100.00%</u>

On the following page is a chart identifying the distribution of the responses by locations and sources. The coverage area for each source varies.

The response from the newspapers was 97.8% from Kenosha and Kenosha County, which is the basic coverage areas for the newspapers used in the survey.

The response from the Service and Professional Organization was 67.2% from Kenosha, 20.2% from Kenosha County and 10.4% from Racine. There were seven participating Kenosha and Kenosha County organizations. There was one Racine Organization which included members living in Racine County.

The return from the 406 questionnaires sent out in Direct Mailing No. 1 (based on the Kenosha telephone directory)



KENOSHA THEATRE STUDY

Distribution of Responses

—————L O C A T I O N S—————

	Total Source Response	Kenosha County	Racine County	Racine County
Newspapers	229 23.2%	183 33.3% (79.9%)	41 28.3% (17.9%)	4 2.4% (1.8%)
Service & Professional Organizations	183 18.5%	123 22.4% (67.2%)	37 25.5% (20.2%)	19 11.2% (10.4%)
Direct Mailing #1	120 12.1%	86 15.7% (71.7%)	27 18.6% (22.5%)	0 0% (0%)
Direct Mailing #2	457 46.2%	157 28.6% (34.3%)	40 27.6% (8.8%)	146 86.4% (32.0%)
Total Location Response	989 100%	549 55.5%	145 14.7%	169 17.1%
				126 12.7%

0.00% =  $\frac{\text{Designated Source response from the Location}}{\text{Total Source response from the Location}}$

(0.00%) =  $\frac{\text{Designated Source response from the Location}}{\text{Total response from the Designated Source}}$

was 120, a response of 30%. The return was 71.7% from Kenosha and 22.5% from Kenosha County. Again, most of the responses were from the basic coverage area of the directory used in the selection of the names.

The return from the 1,047 questionnaires sent out in the Direct Mailing No. 2 (based on the Racine Theatre Guild mailing list) was 457, a response of 44%. Questionnaires were sent to 699 people in Racine and Racine County with a response of 260, a return of 37.2% and to 348 people in Kenosha and Kenosha County with a response of 197, a return of 56.6%. The distribution of the 457 responses were; 34.3% from Kenosha, 8.8% from Kenosha County, 32.0% from Racine, and 24.9% from Racine County. Of the four sources used, this was the only one targeted into all four locations. The one out of three response from the Racine area and the better than one out of two response from the Kenosha area indicates a very substantial interest, from this group of active theatre patrons, in the possibility of another performing art theatre close to home.

The questionnaire used in the surveys is on the next page followed by the tabulations of the results for each of the seven questions.

# QUESTIONNAIRE THE KENOSHA/RHODE STUDY

PLEASE CIRCLE THE APPROPRIATE NUMBER OR WORD FOR EACH QUESTION

**#1** HOW MANY TIMES IN THE PAST 12 MONTHS HAVE YOU ATTENDED EACH OF THESE TYPES OF ENTERTAINMENT: **#2** PLEASE ANSWER WHETHER YOU "WOULD LIKE TO ATTEND" OR "NOT LIKE TO ATTEND" EACH OF THESE TYPES OF LIVE PROFESSIONAL PERFORMANCES IF PRESENTED IN THE RESTORED KENOSHA THEATRE:

MOVIES	0	1	2	3	4+
ART EXHIBITS	0	1	2	3	4+
ROCK/POP CONCERTS	0	1	2	3	4+
CLASSICAL MUSIC CONCERTS	0	1	2	3	4+
LIVE THEATRE PERFORMANCES	0	1	2	3	4+
DANCE PRODUCTIONS	0	1	2	3	4+
COUNTRY WESTERN CONCERTS	0	1	2	3	4+
SYMPHONY	0	1	2	3	4+

	<u>WOULD LIKE</u>	<u>NOT LIKE</u>
MUSICALS	1	2
COMEDY	1	2
DRAMA	1	2
CHORAL MUSIC	1	2
JAZZ	1	2
OPERA	1	2
COUNTRY WESTERN	1	2
SYMPHONY (ON TOUR)	1	2
DANCE PRODUCTION	1	2
VARIETY ACTS	1	2
ROCK/POP	1	2

**#4** WHAT AMOUNT DO YOU THINK IS REASONABLE SINGLE TICKET PRICE FOR PROFESSIONAL ENTERTAINMENT:

\$9 or less	\$10-19	\$20 or more
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TOP-NAME	\$9 or less	\$10-19	\$20 or more
THEATRE GROUP OR INDIVIDUAL	1	2	3
GOOD, BUT NOT TOP NAME THEATRE GROUP OR INDIVIDUAL	1	2	3
TOP NAME MUSIC GROUP OR INDIVIDUAL	1	2	3
GOOD, BUT NOT TOP NAME MUSIC GROUP OR INDIVIDUAL	1	2	3
TOURING DANCE COMPANY	1	2	3
TOURING SYMPHONY	1	2	3

**#3** HOW IMPORTANT TO YOU IS THE FOLLOWING:

	Very	Somewhat	Not at All
TICKET PRICE	1	2	3
CONVENIENT PARKING	1	2	3
QUALITY OF PERFORMANCE	1	2	3
LOCAL LOCATION	1	2	3
COMFORT OF THEATRE	1	2	3
PROFESSIONAL COMPANY PRODUCTION	1	2	3

**#6** WHAT IS YOUR COMBINED FAMILY INCOME BEFORE TAXES:

UNDER \$15,000	1
\$15,000 TO LESS THAN \$20,000	2
\$20,000 TO LESS THAN \$25,000	3
\$25,000 TO LESS THAN \$30,000	4
\$30,000 TO LESS THAN \$45,000	5
\$45,000 TO LESS THAN \$60,000	6
\$60,000 TO LESS THAN \$75,000	7
OVER \$75,000	8

**#5** HOW LIKELY WOULD YOU BE TO ATTEND PERFORMANCES AT AN ENTERTAINMENT CENTER IN DOWNTOWN KENOSHA IF ONE WERE DEVELOPED THERE:

VERY LIKELY	1	NOT LIKELY	3
SOMEWHAT LIKELY	2	DON'T KNOW	4

**#7** IN WHICH OF THE FOLLOWING AGE CATEGORIES ARE YOU:

18-24	1	40-59	3
25-39	2	60 & OVER	4

ARE YOU RETIRED      YES      NO

WHERE DO YOU LIVE:

KENOSHA	1	RACINE	4
KENOSHA COUNTY	2	RACINE COUNTY	5
WALWORTH COUNTY	3	LAKE COUNTY	6
OTHER			

YOUR COMMENTS ARE IMPORTANT AND APPRECIATED:

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QUESTION NUMBER: 1

HOW MANY TIMES IN THE PAST 12 MONTHS HAVE YOU ATTENDED EACH OF THESE TYPES OF ENTERTAINMENT?

RESPONSE FROM ALL SOURCES & LOCATIONS  
TOTAL NUMBER OF RESPONSES: 989

	0	1	2	3	4	NR
MOVIES	18%	12%	14%	13%	37%	6%
ART EXHIBITS	31%	23%	17%	8%	10%	11%
ROCK/POP CONCERTS	60%	9%	6%	3%	5%	17%
CLASSICAL MUSIC CONCERTS	44%	17%	10%	5%	12%	12%
LIVE THEATRE PERFORMANCES	18%	13%	11%	10%	44%	4%
DANCE PRODUCTIONS	59%	15%	5%	2%	3%	16%
COUNTRY WESTERN CONCERTS	69%	7%	5%	1%	1%	17%
SYMPHONY	49%	15%	8%	5%	11%	12%

TOTAL NO. OF RESPONSES:

	549 KENOSHA						145 KENOSHA COUNTY						169 RACINE						126 RACINE COUNTY					
	0	1	2	3	4+	NR	0	1	2	3	4+	NR	0	1	2	3	4+	NR	0	1	2	3	4+	NR
MOVIES	19%	10%	15%	12%	35%	9%	21%	16%	12%	9%	37%	5%	15%	14%	12%	19%	38%	2%	16%	13%	12%	16%	39%	4%
ART EXHIBITS	31%	23%	16%	9%	10%	11%	32%	20%	19%	10%	9%	10%	25%	25%	20%	4%	12%	14%	39%	20%	15%	6%	8%	12%
ROCK/POP CONCERTS	57%	10%	7%	3%	5%	18%	60%	10%	6%	3%	5%	16%	63%	8%	7%	2%	4%	16%	65%	9%	3%	3%	6%	14%
CLASSICAL MUSIC CONCERTS	45%	18%	9%	5%	10%	13%	45%	17%	10%	5%	10%	13%	37%	17%	9%	6%	19%	12%	45%	16%	12%	4%	13%	10%
LIVE THEATRE PERFORMANCES	23%	17%	12%	9%	34%	5%	20%	17%	15%	9%	37%	2%	4%	5%	8%	12%	69%	2%	13%	6%	11%	13%	57%	0%
DANCE PRODUCTIONS	58%	15%	6%	2%	3%	16%	61%	15%	2%	3%	3%	16%	60%	18%	4%	1%	2%	15%	59%	13%	9%	0%	2%	17%
COUNTRY WESTERN CONCERTS	69%	8%	4%	1%	1%	17%	60%	11%	5%	3%	2%	19%	72%	5%	3%	1%	2%	17%	71%	6%	6%	1%	3%	13%
SYMPHONY	51%	15%	7%	6%	10%	11%	42%	20%	13%	4%	8%	13%	42%	12%	10%	6%	15%	15%	55%	14%	8%	2%	13%	8%

TOTAL NO. OF RESPONSES:

	229 NEWSPAPERS						120 DIRECT MAILING #1						457 DIRECT MAILING #2						183 SERVICE & PROF. ORG.					
	0	1	2	3	4+	NR	0	1	2	3	4+	NR	0	1	2	3	4+	NR	0	1	2	3	4+	NR
MOVIES	15%	10%	12%	15%	40%	8%	29%	7%	15%	10%	28%	11%	14%	14%	14%	13%	40%	5%	23%	14%	17%	13%	28%	5%
ART EXHIBITS	28%	23%	16%	12%	14%	7%	47%	22%	9%	3%	6%	13%	28%	22%	19%	7%	10%	14%	33%	25%	15%	8%	8%	11%
ROCK/POP CONCERTS	51%	11%	9%	5%	10%	14%	59%	13%	5%	2%	3%	18%	63%	9%	5%	2%	3%	18%	62%	8%	8%	3%	3%	16%
CLASSICAL MUSIC CONCERTS	43%	21%	13%	4%	12%	7%	59%	14%	3%	3%	5%	16%	39%	16%	11%	5%	15%	14%	47%	18%	5%	6%	10%	14%
LIVE THEATRE PERFORMANCES	24%	22%	16%	11%	23%	5%	45%	19%	15%	7%	6%	8%	4%	4%	6%	10%	76%	0%	28%	22%	17%	12%	15%	6%
DANCE PRODUCTIONS	55%	19%	9%	3%	4%	10%	68%	8%	3%	2%	2%	17%	56%	15%	5%	2%	3%	19%	67%	13%	1%	2%	1%	16%
COUNTRY WESTERN CONCERTS	62%	13%	7%	3%	1%	14%	67%	9%	3%	2%	1%	18%	69%	5%	4%	0%	2%	20%	74%	5%	3%	1%	1%	16%
SYMPHONY	53%	15%	9%	3%	12%	8%	61%	15%	0%	3%	5%	16%	46%	13%	10%	5%	13%	13%	44%	18%	8%	9%	9%	12%

QUESTION NUMBER: 2

PLEASE ANSWER WHETHER YOU "WOULD LIKE TO ATTEND" OR "NOT LIKE TO ATTEND" EACH OF THESE TYPES OF LIVE PROFESSIONAL PERFORMANCES IF PRESENTED IN THE RESTORED KENOSHA THEATRE:

RESPONSE FROM ALL SOURCES & LOCATIONS  
TOTAL NUMBER OF RESPONSES: 989

	WOULD LIKE	NOT LIKE	NR
MUSICALS	85%	10%	5%
COMEDY	88%	7%	5%
DRAMA	78%	13%	9%
CHORAL MUSIC	47%	40%	13%
JAZZ	48%	39%	13%
OPERA	28%	53%	19%
COUNTRY WESTERN	35%	51%	14%
SYMPHONY (ON TOUR)	58%	31%	11%
DANCE PRODUCTION	55%	32%	13%
VARIETY ACTS	65%	24%	11%
ROCK/POP	33%	51%	16%

	549 KENOSHA			145 KENOSHA COUNTY			169 RACINE			126 RACINE COUNTY		
	WOULD LIKE	NOT LIKE	NR	WOULD LIKE	NOT LIKE	NR	WOULD LIKE	NOT LIKE	NR	WOULD LIKE	NOT LIKE	NR
MUSICALS	86%	11%	3%	85%	7%	8%	84%	9%	7%	83%	14%	3%
COMEDY	88%	7%	5%	92%	5%	3%	85%	8%	7%	84%	10%	6%
DRAMA	77%	13%	10%	84%	10%	6%	78%	14%	8%	74%	17%	9%
CHORAL MUSIC	47%	41%	12%	48%	34%	18%	45%	41%	14%	51%	39%	10%
JAZZ	51%	37%	12%	50%	36%	14%	46%	40%	14%	33%	53%	14%
OPERA	26%	54%	20%	24%	54%	22%	37%	46%	17%	29%	57%	14%
COUNTRY WESTERN	36%	50%	14%	39%	46%	15%	25%	60%	15%	37%	52%	11%
SYMPHONY (ON TOUR)	59%	32%	9%	61%	23%	16%	60%	27%	13%	46%	40%	14%
DANCE PRODUCTION	59%	29%	12%	56%	30%	14%	48%	37%	15%	45%	37%	18%
VARIETY ACTS	68%	22%	10%	66%	20%	14%	57%	31%	12%	59%	32%	9%
ROCK/POP	37%	47%	16%	32%	50%	18%	27%	58%	15%	26%	60%	14%

	229 NEWSPAPERS			120 DIRECT MAILING #1			457 DIRECT MAILING #2			183 SERVICE & PROF. ORG.		
	WOULD LIKE	NOT LIKE	NR	WOULD LIKE	NOT LIKE	NR	WOULD LIKE	NOT LIKE	NR	WOULD LIKE	NOT LIKE	NR
MUSICALS	90%	7%	3%	76%	18%	6%	86%	9%	5%	81%	15%	4%
COMEDY	89%	7%	4%	81%	11%	8%	89%	6%	5%	86%	7%	7%
DRAMA	85%	9%	6%	62%	27%	11%	82%	11%	7%	68%	17%	15%
CHORAL MUSIC	49%	41%	10%	39%	44%	17%	49%	38%	13%	46%	38%	16%
JAZZ	57%	36%	7%	41%	46%	13%	42%	43%	15%	55%	30%	15%
OPERA	29%	60%	11%	16%	66%	18%	35%	48%	17%	15%	48%	37%
COUNTRY WESTERN	39%	48%	13%	41%	49%	10%	33%	52%	15%	32%	53%	15%
SYMPHONY (ON TOUR)	66%	30%	4%	37%	46%	17%	57%	29%	14%	63%	25%	12%
DANCE PRODUCTION	68%	23%	9%	46%	41%	13%	55%	30%	15%	44%	41%	15%
VARIETY ACTS	76%	18%	6%	64%	27%	9%	62%	26%	12%	58%	29%	13%
ROCK/POP	49%	40%	11%	41%	47%	12%	25%	58%	17%	30%	50%	20%

QUESTION NUMBER: 3  
 HOW IMPORTANT TO YOU IS THE FOLLOWING?

RESPONSE FROM ALL SOURCES & LOCATIONS  
 TOTAL NUMBER OF RESPONSES - 989

	VERY	SOMEWHAT	NOT AT ALL	NR
TICKET PRICE	27%	63%	7%	3%
CONVENIENT PARKING	40%	48%	9%	3%
QUALITY OF PERFORMANCE	81%	13%	3%	3%
LOCAL LOCATION	36%	49%	9%	6%
COMFORT OF THEATRE	47%	46%	3%	4%
PROFESSIONAL COMPANY PRODUCTION	37%	50%	10%	3%

TOTAL NO. OF RESPONSES

549  
 KENOSHA

145  
 KENOSHA COUNTY

169  
 RACINE

126  
 RACINE COUNTY

	KENOSHA				KENOSHA COUNTY				RACINE				RACINE COUNTY			
	VERY	SOMEWHAT	NOT AT ALL	NR	VERY	SOMEWHAT	NOT AT ALL	NR	VERY	SOMEWHAT	NOT AT ALL	NR	VERY	SOMEWHAT	NOT AT ALL	NR
TICKET PRICE	25%	64%	8%	3%	30%	63%	6%	1%	30%	60%	4%	6%	28%	62%	8%	2%
CONVENIENT PARKING	37%	50%	10%	3%	41%	47%	11%	1%	42%	47%	6%	5%	44%	45%	9%	2%
QUALITY OF PERFORMANCE	80%	14%	3%	3%	79%	18%	1%	2%	85%	9%	1%	5%	82%	12%	4%	2%
LOCAL LOCATION	37%	47%	10%	6%	36%	48%	11%	5%	33%	50%	8%	9%	35%	54%	8%	3%
COMFORT OF THEATRE	46%	45%	5%	4%	45%	53%	1%	1%	49%	41%	3%	7%	47%	46%	5%	2%
PROFESSIONAL COMPANY PRODUCTION	38%	49%	10%	3%	37%	50%	11%	2%	36%	49%	8%	7%	33%	55%	10%	2%

TOTAL NO. OF RESPONSES

229  
 NEWSPAPERS

120  
 DIRECT MAILING #1

457  
 DIRECT MAILING #2

183  
 SERVICE & PROFESSIONAL ORG.

	NEWSPAPERS				DIRECT MAILING #1				DIRECT MAILING #2				SERVICE & PROFESSIONAL ORG.			
	VERY	SOMEWHAT	NOT AT ALL	NR	VERY	SOMEWHAT	NOT AT ALL	NR	VERY	SOMEWHAT	NOT AT ALL	NR	VERY	SOMEWHAT	NOT AT ALL	NR
TICKET PRICE	28%	65%	6%	1%	25%	62%	7%	6%	32%	59%	6%	3%	14%	71%	11%	4%
CONVENIENT PARKING	36%	51%	13%	0%	40%	48%	8%	4%	47%	43%	7%	3%	25%	57%	12%	6%
QUALITY OF PERFORMANCE	79%	20%	0%	1%	81%	8%	4%	7%	83%	12%	2%	3%	80%	12%	4%	4%
LOCAL LOCATION	49%	40%	8%	3%	39%	45%	8%	8%	35%	51%	9%	5%	21%	56%	13%	10%
COMFORT OF THEATRE	48%	47%	3%	2%	50%	37%	6%	7%	50%	43%	3%	4%	35%	58%	3%	4%
PROFESSIONAL COMPANY PRODUCTION	35%	55%	9%	1%	39%	43%	10%	8%	36%	50%	10%	4%	41%	46%	12%	1%

QUESTION NUMBER: 4

WHAT AMOUNT DO YOU THINK IS REASONABLE SINGLE  
TICKET PRICE FOR PROFESSIONAL ENTERTAINMENT?

RESPONSE FROM ALL SOURCES & LOCATIONS  
TOTAL NUMBER OF RESPONSES: 989

	\$9 or Less	\$10-19	\$20 or More	NR
TOP-NAME THEATRE GROUP OR INDIVIDUAL	10%	51%	34%	5%
GOOD, BUT NOT TOP NAME THEATRE GROUP OR INDIVIDUAL	52%	41%	1%	6%
TOP NAME MUSIC GROUP OR INDIVIDUAL	12%	53%	28%	7%
GOOD, BUT NOT TOP NAME MUSIC GROUP OR INDIVIDUAL	55%	34%	1%	10%
TOURING DANCE COMPANY	36%	45%	8%	11%
TOURING SYMPHONY	31%	48%	11%	10%

	TOTAL NO. OF RESPONSES: 549				145				169				126			
	KENOSHA				KENOSHA COUNTY				RACINE				RACINE COUNTY			
	\$9 or Less	\$10-19	\$20 or More	NR	\$9 or Less	\$10-19	\$20 or More	NR	\$9 or Less	\$10-19	\$20 or More	NR	\$9 or Less	\$10-19	\$20 or More	NR
TOP-NAME THEATRE GROUP OR INDIVIDUAL	10%	51%	36%	3%	10%	46%	37%	7%	9%	56%	30%	5%	10%	53%	30%	7%
GOOD, BUT NOT TOP NAME THEATRE GROUP OR INDIVIDUAL	50%	43%	2%	5%	50%	43%	1%	6%	60%	34%	0%	6%	52%	38%	0%	10%
TOP-NAME MUSIC GROUP OR INDIVIDUAL	12%	51%	31%	6%	10%	53%	25%	12%	11%	57%	22%	10%	12%	57%	24%	7%
GOOD, BUT NOT TOP NAME MUSIC GROUP OR INDIVIDUAL	51%	38%	1%	10%	58%	32%	0%	10%	63%	25%	1%	11%	55%	33%	2%	10%
TOURING DANCE COMPANY	36%	45%	8%	11%	39%	41%	11%	9%	36%	48%	5%	11%	33%	43%	9%	15%
TOURING SYMPHONY	32%	48%	11%	9%	28%	51%	13%	8%	31%	49%	10%	10%	28%	48%	10%	14%

	TOTAL NO. OF RESPONSES: 229				120				457				183			
	NEWSPAPERS				DIRECT MAILING #1				DIRECT MAILING #2				SERVICE & PROF. ORG.			
	\$9 or Less	\$10-19	\$20 or More	NR	\$9 or Less	\$10-19	\$20 or More	NR	\$9 or Less	\$10-19	\$20 or More	NR	\$9 or Less	\$10-19	\$20 or More	NR
TOP-NAME THEATRE GROUP OR INDIVIDUAL	10%	50%	37%	3%	10%	53%	28%	9%	11%	53%	31%	5%	7%	49%	42%	2%
GOOD, BUT NOT TOP NAME THEATRE GROUP OR INDIVIDUAL	47%	46%	4%	3%	53%	38%	0%	9%	58%	36%	0%	6%	42%	49%	2%	7%
TOP-NAME MUSIC GROUP OR INDIVIDUAL	14%	52%	32%	2%	12%	52%	25%	11%	11%	53%	26%	10%	9%	56%	28%	7%
GOOD, BUT NOT TOP NAME MUSIC GROUP OR INDIVIDUAL	48%	41%	1%	10%	58%	33%	0%	9%	60%	30%	0%	10%	47%	39%	3%	11%
TOURING DANCE COMPANY	33%	48%	11%	8%	43%	37%	8%	12%	37%	44%	7%	12%	32%	47%	8%	13%
TOURING SYMPHONY	28%	50%	14%	8%	41%	37%	12%	10%	32%	48%	9%	11%	23%	56%	11%	10%

QUESTION NUMBER: 5

HOW LIKELY WOULD YOU BE TO ATTEND PERFORMANCES  
AT AN ENTERTAINMENT CENTER IN DOWNTOWN KENOSHA  
IF ONE WERE DEVELOPED THERE?

RESPONSE FROM ALL SOURCES & LOCATIONS  
TOTAL NUMBER OF RESPONSES: 989

VERY LIKELY	58%
SOMEWHAT LIKELY	28%
NOT LIKELY	8%
DON'T KNOW	4%
NR	2%

TOTAL NO. OF RESPONSES:	<u>549</u> <u>KENOSHA</u>	<u>145</u> <u>KENOSHA COUNTY</u>	<u>169</u> <u>RACINE</u>	<u>126</u> <u>RACINE COUNTY</u>
VERY LIKELY	74%	61%	31%	21%
SOMEWHAT LIKELY	19%	27%	42%	47%
NOT LIKELY	3%	3%	15%	25%
DON'T KNOW	2%	6%	7%	6%
NR	2%	3%	5%	1%

TOTAL NO. OF RESPONSES:	<u>229</u> <u>NEWSPAPERS</u>	<u>120</u> <u>DIRECT MAILING #1</u>	<u>457</u> <u>DIRECT MAILING #2</u>	<u>183</u> <u>SERVICE &amp; PROF. ORG.</u>
VERY LIKELY	85%	48%	49%	52%
SOMEWHAT LIKELY	11%	32%	32%	38%
NOT LIKELY	1%	8%	12%	6%
DON'T KNOW	2%	7%	4%	3%
NR	1%	5%	3%	1%



QUESTION NUMBER: 6

WHAT IS YOUR COMBINED FAMILY INCOME BEFORE TAXES?

RESPONSE FROM ALL SOURCES & LOCATIONS

TOTAL NUMBER OF RESPONSES: 989

UNDER \$15,000	10%
\$15,000 TO LESS THAN \$20,000	9%
\$20,000 TO LESS THAN \$25,000	7%
\$25,000 TO LESS THAN \$30,000	11%
\$30,000 TO LESS THAN \$45,000	22%
\$45,000 TO LESS THAN \$60,000	15%
\$60,000 TO LESS THAN \$75,000	9%
OVER \$75,000	10%
NR	7%

TOTAL NO. OF RESPONSES:	549 <u>KENOSHA</u>	145 <u>KENOSHA COUNTY</u>	169 <u>RACINE</u>	126 <u>RACINE COUNTY</u>
UNDER \$15,000	14%	5%	5%	4%
\$15,000 TO LESS THAN \$20,000	10%	5%	11%	8%
\$20,000 TO LESS THAN \$25,000	7%	9%	10%	4%
\$25,000 TO LESS THAN \$30,000	12%	10%	8%	11%
\$30,000 TO LESS THAN \$45,000	23%	19%	21%	21%
\$45,000 TO LESS THAN \$60,000	12%	20%	15%	21%
\$60,000 TO LESS THAN \$75,000	7%	11%	9%	12%
OVER \$75,000	7%	16%	11%	14%
NR	8%	5%	10%	5%
TOTAL NO. OF RESPONSES:	229 <u>NEWSPAPERS</u>	120 <u>DIRECT MAILING #1</u>	457 <u>DIRECT MAILING #2</u>	183 <u>SERVICE &amp; PROF. ORG.</u>
UNDER \$15,000	16%	13%	9%	1%
\$15,000 TO LESS THAN \$20,000	13%	8%	10%	3%
\$20,000 TO LESS THAN \$25,000	11%	7%	8%	2%
\$25,000 TO LESS THAN \$30,000	16%	16%	8%	9%
\$30,000 TO LESS THAN \$45,000	23%	23%	21%	21%
\$45,000 TO LESS THAN \$60,000	10%	15%	15%	20%
\$60,000 TO LESS THAN \$75,000	6%	5%	11%	11%
OVER \$75,000	5%	5%	10%	20%
NR	0%	8%	8%	13%

QUESTION NUMBER: 7  
 IN WHICH OF THE FOLLOWING AGE CATEGORIES ARE YOU?

RESPONSE FROM ALL SOURCES & LOCATIONS  
 TOTAL NUMBER OF RESPONSES: 989

18-24	2%
25-39	24%
40-59	43%
60 & OVER	30%
NR	1%
RETIRED	24%

TOTAL NO. OF RESPONSES:	549 <u>KENOSHA</u>	145 <u>KENOSHA COUNTY</u>	169 <u>RACINE</u>	126 <u>RACINE COUNTY</u>
18-24	3%	1%	0%	1%
25-39	27%	28%	19%	13%
40-59	39%	49%	41%	54%
60 & OVER	30%	21%	38%	32%
NR	1%	1%	2%	0%
RETIRED	25%	17%	29%	23%

TOTAL NO. OF RESPONSES:	229 <u>NEWSPAPERS</u>	120 <u>DIRECT MAILING #1</u>	457 <u>DIRECT MAILING #2</u>	183 <u>SERVICE &amp; PROF. ORG.</u>
18-24	4%	3%	1%	1%
25-39	36%	38%	15%	23%
40-59	43%	33%	41%	51%
60 & OVER	17%	25%	42%	22%
NR	0%	1%	1%	3%
RETIRED	15%	24%	34%	11%

NOTE:

The percentages for 'Retired' persons are also included in the statistics of the age groups.

The newspapers and the Direct Mailing No. 1 was intended to reach a cross section of the citizens in Kenosha and the surrounding counties in Wisconsin. Direct Mailing No. 2 reached people who had a definite interest in the performing arts. The service and professional organizations reached business people. Ages and income varied as follows.

<u>Age</u>	<u>News- papers</u>	<u>Mailing #1</u>	<u>Mailing #2</u>	<u>Organiza- tions</u>
18-39	40%	41%	16%	24%
40 Years & Older	60%	58%	83%	73%
Retired	15%	24%	34%	11%
<u>Income</u>				
\$30,000 & Under	56%	44%	35%	15%
\$30,000 to \$60,000	33%	38%	36%	41%
\$60,000 & Over	11%	10%	21%	31%

The medians of the total responses are:

<u>Age</u>	
40 Years & Older	73%
Retired	24%
<u>Income</u>	
\$30,000 & Under	37%
\$30,000 to \$60,000	37%
\$60,000 & Over	19%

For complete tabulations see Question No. 7 for Age results and Question No. 6 for Income results.

The responses from the newspapers and the Direct Mailing No. 1 were from a younger age group of responders than in the other two surveys. However, there is a high percentage of retired people in both of the direct mailing surveys. The total results show a good response from all ages except the 18 to 24 year range.

There are considerable variations in the income results of the four surveys. In the \$30,000 to \$60,000 income range the responding group from each of the surveys was very close to the 37% median. The newspaper and the Direct Mailing No. 1 surveys indicated a lower than the median income, Direct Mailing No. 2 incomes were near the median and the organizations, as expected, reported the highest incomes. Because of the variations in income between the four sources, the results of the survey represents a collective input from all income levels.

Question #1 - How many times in the past 12 months have you attended each of the these types of entertainment?

See tabulation sheet for complete results.

Movies and Live Theatre Performances oscillate between No. 1 and No. 2 positions in the Location and Source categories. The percentage of response for each of

the surveyed items also fluctuates. Percentages for all surveyed items were the lowest in Direct Mailing No. 1.

The following tabulations show the percentages when attendance categories 1, 2, 3 and 4+ are considered collectively. These percentages represent the responders who attended one to four performances. This method cannot quantify the attendance for each type of performance because of the unknown quantities of 4+. However, this method does provide a base for analysis of the results.

	<u>Kenosha</u>	<u>Kenosha County</u>	<u>Racine</u>	<u>Racine County</u>
Movies	72%	74%	83%	80%
Live Theatre Performance	72%	78%	94%	87%
Classical Music Concerts	42%	42%	51%	45%
Symphony	38%	45%	43%	37%
Art Exhibits	58%	58%	61%	49%

	<u>Newspapers</u>	<u>Direct Mailing #1</u>	<u>Direct Mailing #2</u>	<u>Organiza- tions</u>
Movies	77%	60%	81%	72%
Live Theatre Performances	72%	47%	96%	66%
Classical Music Concerts	50%	25%	47%	39%
Symphony	39%	23%	41%	44%
Art Exhibits	65%	40%	58%	56%

The medians of the total response are:

Movies	76%
Live Theatre Performances	78%
Classical Music Concerts	44%
Symphony	39%
Art Exhibits	58%

Live Theatre Performances and Movies again show the greatest strength. The results indicated approximately 75% of the responders attend live performances and movies. The results indicated Symphony and Classical Music Concerts each have a rating of approximately 40%. Art Exhibits attendance rated approximately 58%.

Responses in Movies and Live Theatre Performances are impressive in all Locations, in three of the four Source categories and in the total response analysis. A substantial segment of the responding citizens are theatre and movie patrons.

Question #2 - "Would you like to attend" or "Not like to attend" each of these types of live performances if presented in the restored Kenosha Theatre?

See tabulation sheet for complete results.

Musicals, Comedy, Drama, Symphony (on tour), Dance Production, and Variety Acts all rated more than 50% for 'Would Like'. Jazz and Choral Music rated just under 50%.

The following tabulations show the medians of the total response for the above types of entertainment.

	<u>Would Like</u>	<u>Not Like</u>	<u>NR</u>
Comedy	88%	7%	5%
Musicals	85%	10%	5%
Drama	78%	13%	9%
Variety Acts	65%	24%	11%
Symphony (on Tour)	58%	31%	11%
Dance Productions	55%	32%	13%
Jazz	48%	39%	13%
Choral Music	47%	40%	13%

The results of the total response for Musicals, Comedy Drama and Variety Acts are very consistent with the corresponding Location and Source results. This

survey indicates a preference for stage productions, however all of the types of entertainment listed under this question are candidates for future consideration. Restored theatres like the Kenosha and the Rhode can provide excellent facilities for these types of live stage performances.

Question #3 - How important to you is the following?

See tabulation sheet for complete results.

The following tabulations show the medians of the total response.

TOTAL NUMBER OF RESPONSES: 989

	Very	Somewhat	Not At All	NR
Ticket Price	27%	63%	7%	3%
Convenient Parking	40%	48%	9%	3%
Quality of Performance	81%	13%	3%	3%
Local Location	36%	49%	9%	6%
Comfort of Theatre	47%	46%	3%	4%
Professional Company Production	37%	50%	10%	3%



By considering the 'Very' and 'Somewhat' categories together the results are:

Ticket Price	90%
Convenient Parking	88%
Quality of Performance	94%
Local Location	85%
Comfort of Theatre	93%
Professional Company Productions	87%

Using the response medians, the range of the combined total results of 'Very' and 'Somewhat' categories is 85% to 94%. The narrow range indicates all of the items were considered important. However 'Quality of Performance' must be considered as top priority because of the consistent high percentage results in the 'Very' category. The range for all of the Location and Source results is 79% to 85% with a median of 81%.

None of the other surveyed items received a 50% response in the 'Very' category except 'Comfort of Theatre'. Except for the 35% response in the Service and Professional Organization' results, the results of this item in the 'Very' category ranged from 45% to 50%. The median is 47%. The response in the 'Very'/'Somewhat' combination is 93%, topped only by 'Quality of Performance', with 94%.

'Ticket Price' has the lowest response in the 'Very' category, 27% median. However, this item had the highest response (63%) in the 'Somewhat' category and has the third highest response (90%) in the 'Very'/'Somewhat' combination results. The responders do have a strong concern about the price of tickets but their prime concern is high quality entertainment in a comfortable theatrical environment.

The results rates 'Quality of Performance' top priority followed by 'Comfort of Theatre', then 'Ticket Price'. Because of the narrow range in the 'Very'/'Somewhat' combination results, the development of the other three surveyed items should also receive high priority consideration.

The importance given to 'Local Location' (Very 37% - Somewhat 47%) indicates many citizens would like to be entertained locally rather than traveling to more distant places. Many of the written comments made on returned questionnaires pertained to the desire and the importance of having more opportunities to attend live stage productions locally.

Question #4 - What amount do you think is reasonable ticket price for professional entertainment?

See tabulation sheet for complete results.

The following tabulation shows the medians for the total response.

TOTAL NUMBER OF RESPONSES: 989

	\$9 or less	\$10-19	\$20 or More	NR
Top-Name Theatre Group or Individual	10%	51%	34%	5%
Good, <u>But not</u> Top Name Theatre Group or Individual	52%	41%	1%	6%
Top Name Music Group or Individual	12%	53%	28%	7%
Good, <u>But Not</u> Top Name Music Group or Individual	55%	34%	1%	10%
Touring Dance Company	36%	45%	8%	11%
Touring Symphony	31%	48%	11%	10%

The pattern between the high and the next lower percentages in the complete median tabulation shown above are consistent with the results from the Locations and two of the Sources. There is a variation in the pattern in the 'Direct Mailing #2' and in the 'Service & Professional Organizations' tabulations. The percentage values of all of the Sources for each surveyed question are also quite consistent.

The 10/19 dollar price is identified for Top Name, 'Dance' and 'Symphony' performances with secondary support for higher and lower price tickets. The 'Good but not Top Name' performance ticket price is identified at \$9 or less with good secondary support for a 10/19 dollar price. These results suggest a range in ticket prices would be acceptable. The two or three tier price of tickets is normally used for important performances.

Question #5 - How likely would you be to attend performances at an entertainment center in Downtown Kenosha if one were developed there?

See tabulation sheet for complete results.

The following tabulations show the medians for the total response.

TOTAL NUMBER OF RESPONSES: 989

Very Likely	58%
Somewhat Likely	28%
Not Likely	8%
Don't Know	4%
NR	2%

The 'Very Likely' responses are quite strong in the Kenosha and the newspaper surveys and they are substantial in the Kenosha County, in the Direct Mailings Nos. 1 and 2, and in the Service and Professional

Organizations surveys. The response to the 'Very Likely' category is moderate in the Racine survey and low in the Racine County survey.

The 'Not Likely' responses are quite low in all but three surveys. The 15% and 25% results in the Racine and the Racine County surveys can be contributed to out-of-town factors involved from their vantage point. The 12% result in the Direct Mailing No. 2 can also be contributed to the out-of-town factors involved because 57% of the responses from this mailing were from Racine and Racine County.

The following tabulations combines the results of the 'Very Likely' and the 'Somewhat Likely' categories.

Kenosha	93%	Newspapers	96%
Kenosha County	88%	Mailing No. 1	80%
Racine	73%	Mailing No. 2	81%
Racine County	68%	Service & Professional Organizations	90%

These results suggest there is a significant potential market for the performing arts in the areas surveyed. The positive results to this question are also supported by the 'Would Like to Attend' responses to certain types of performances in Question No. 2.

The responders to the questionnaire surveys expressed high support for development of live stage performance facilities in the Kenosha Theatre. This coincides with the results to the 'Arts, Culture and Entertainment' questions published in the final report of 'Kenosha Focus 2000', dated October 1987. To the question, 'Do you think the City of Kenosha SHOULD or SHOULD NOT develop the following art and cultural facilities', the results of the top three were:

	Should	Should Not	Don't Know
Performing Arts Theatre	60.7%	19.4%	20.0%
Convention Center	56.7%	24.4%	18.9%
Community Art Center	52.7%	22.3%	25.0%

To the question, 'Do you think the City of Kenosha SHOULD or SHOULD NOT develop the following entertainment facilities or activities', the results of the top five were:

	Should	Should Not	Don't Know
Ethnic Festivals	85.8%	7.5%	6.7%
Festival Grounds	79.6%	11.3%	9.1%
Stage Theatres	61.3%	22.1%	16.5%
Movie Theatres	60.8%	24.2%	15.0%
Dinner Playhouse	58.4%	26.0%	15.6%

Summary - The following is a summary of the results from the questionnaire survey.

There was good response from Kenosha, Kenosha County, Racine and Racine County. There was no response from Walworth County.

The median age of the responders to the Newspaper and Direct Mailing No. 1 surveys was the mid-forties, for Direct Mailing No. 2 and Service and Professional Organizations the median age was the mid-fifties. Of the total responding, the median age is approximately fifty, which is similar to that of the Kenosha Focus 2000 survey. Approximately 24% of the responders are retired. This is higher than normal. The distribution of the age response is in an acceptable range.

The median income for the responders to the survey was approximately \$36,000, 45% higher than the approximate median income of the Kenosha Focus 2000 survey. Assuming the Focus 2000 survey was representative of local incomes, this income variation is normal in a performing arts survey.

The survey indicated 75% of the patrons attends live theatre performances and movies at least one to four

times each year. For many patrons of the performing arts, participation is more than four times a year. Comments on the returned questionnaires indicated many people in the area are season ticket subscribers. Stage productions (comedy, musical, drama) and variety acts received the strongest backing.

This support is not without qualifications. High quality performance is the top priority, for many patrons it is a mandate. Environment and comfort of the theatre facilities is also rated high. While the price of ticket is a concern of many patrons, they give preference to quality of performance and comfort. Convenient parking is important, especially to the handicapped and many senior citizens. Many patrons prefer not to travel out-of-town. There were quite a number of comments concerning the desirability to have more entertainment opportunities locally. Some, whom now travel to Chicago, Milwaukee, etc. to see professional company productions and other live stage performances, indicated they would rather remain in the local area. Again, high quality performance is stressed.

A \$10/\$19 ticket price for top-name entertainment, and a lower price for lesser known entertainment is



the indicated ranges. There are also indications a higher price range would have limited support. This suggests a three tiered ticket price range would be effective. A two or three tier ticket price is normal for important performances.

At a \$15-20 price level, it WOULD be possible to present Roger Williams, Dizzy Gillespie or a production of "The Nutcracker". It WOULD NOT be feasible to present "Big River", "Phantom of the Opera", "42nd Street", the Oak Ridge Boys, Alabama, the Chicago Symphony or Petula Clark, unless there is substantial corporated sponsorship.

If the Kenosha Theatre is restored to 2,000 seats, and you charge an average ticket price of \$15, the top fee that could be paid for an act would average \$12,000 plus all necessary publicity, tickets and related expenses. This would allow a break-even at one-half a house, (1,000) people, which is a safe figure. This does NOT mean that you could not still sustain losses, because any general operating cost of the theatre would come from income generated from tickets sold beyond the 1,000 people level.

It is a myth that some acts will come substantially cheaper because of routing. If they do, they are already playing within 60 miles of Kenosha and taking part of the Kenosha market. Some acts will not even book performance sites as close as 60 miles if they are on a percentage of the gate arrangement. It is possible to get substantial reductions on acts of the "good but not top name" calibre but this was not indicated as the choice most wanted in Kenosha and the area of the survey. It is self-evident that if an act performs at the Riverside in Milwaukee and also somewhere in Chicago and then also Kenosha, very probably one market will suffer, because of the proximity. The myth that any market can make an event pay has been perpetuated by agents and bookers and has caused the entertainment field great problems and failures.

The responses to the five questions pertaining to entertainment were positive and supportive for the development of an entertainment center in Kenosha. The Kenosha and Kenosha County participants in this survey rated the likelihood of attending events in an entertainment center in downtown Kenosha at 90%. Participating citizens in this survey and in the Kenosha Focus 2000 survey expressed strong desires for the development of additional

performing arts facilities in Kenosha. The Racine and Racine County participants in this survey rated the likelihood of attending events in an entertainment center in downtown Kenosha at 70%. This shows a very strong local market, but much promotion would need to be done to entice people from outlying areas and from northern Illinois.

Developing of a performing arts entertainment center in downtown Kenosha will contribute to the revitalization of downtown Kenosha and will enhance Kenosha's image.

On the following pages are comments received on returned questionnaires.

Comments - The following comments were received on the returned questionnaire. They are grouped according to Location; Kenosha, Kenosha County Racine, Racine County.

From Kenosha And Kenosha County - Response from Controlled Mailing #1

"Lyna Pankstellis is a tremendous local talent (currently at Parkside)-let's try to open the stage to local ability. That will open the possible funds from local areas or donors. Art classes love to help paint and decorate, maybe you could enlist some help from them to refurbish your buildings."

"The development in Kenosha would be a tremendous asset in the field of the Arts for those of us who cannot often attend in Milwaukee or Chicago. It would be one way to improve the overall image of what Kenosha is all about! We would most definitely support the entertainment center!"

"An entertainment center the size of either the Rhode or the Kenosha is a tremendous expense. I question the business sense of this kind of enterprise in the city of Kenosha. Any effort to run either the Rhode or the Kenosha as a community resource will have to depend heavily on the efforts of volunteers or a substantial subsidy from the city, as the current operators of the Rhode are finding out."

"I would like to see the revival of either of these two theatres (certainly not both of them), but I would have to be shown some kind of operating plan that makes sense."

"Thank you for including us in your survey - The Dayton Hotel could be a money maker also - if restored back to "40's & 50's," we need a nice but not plushy restaurant/bar. Racine offers so much more - variety of restaurants and not all fast foods - mini malls, etc. - but not in downtown area - but with Marina- they are kicking up heels and doing something about it - Kenosha has to move fast if they hope to ever compete."

"I've attended many dinner theatres and enjoyed each and every one."

"I would like to see something open up downtown with Chrysler leaving, Kenosha's going to need something to help get people to stay here. They should of never closed the Lake Theatres."

"I would definitely like to see an entertainment center in Kenosha and the Rhode Opera House is the perfect location. I think that it would benefit the city to promote such events as the Mecca in Milwaukee does. And to have live entertainment local as well as professional would enthuse the local people to take part and support such events. I have always enjoyed Lakeside Players and K.L.T."

"I hold season tickets for Racine Theatre Guild, Milwaukee Rep, and Milwaukee Symphony. I strongly support your effort, and would like to see more arts and entertainment in Kenosha."

"Would love to have a place in Kenosha that would have musicals, top name performers, etc. Have traveled to Milwaukee and Chicago to see plays etc. Would be great to have it right in town!"

"I appreciate the opportunity to voice my opinion. I hope in the future many other events in the future of this town will be decided or not decided by opinions of the residents of Kenosha."

"Parking area well lighted and policed."

"I think the City has more important problems than seeing what kind of Theatre people enjoy. If they are to build a new theatre it should come from private funds. The taxpayers shouldn't have to spend their money on these meaningless studies either. A new theatre would only benefit the well-off anyway."

"I have never been a great theatre goer, but I do think your ideas are in the right direction. I do think it is good for Kenosha and that I and my family may begin to attend more events in Kenosha."

"QUALITY is the key whether top names or local theatre group - then it's worth the time and money."

From Kenosha And Kenosha County - Response from Service &  
Professional Organizations

"Theatre comfort - name of entertainment is important."

"Since K-town is so close to Milwaukee, the Riverside, Mecca and Bradley Center offer types of entertainment. It's a good night out whereas K-town is not as accommodating, i.e. Nice places to eat, socialize etc., and there is a scenic view of the lake."

"Good and Excellent shows can be found in Chicago, Milwaukee, Lincolnshire, etc. It would be so much more convenient and practical to be able to have performances here in KENOSHA."

"I feel live theatre and musical activities are extremely important to our culture. I would enthusiastically support these activities in the downtown area. The community should support these through private contributions and tax money. The start of the Rhode is impressive and must be kept alive."

From Kenosha And Kenosha County - Response from Newspapers

"I belong to St. Mary's Catholic Sr. Citizen, Kenosha Senior Citizens and Friends of the Museum, and I attend events around Wisconsin and Northern Illinois. Cost is usually \$20 to \$35, includes lunch, bus, and show. It would be good for Kenosha to get others to come here. We have to educate our citizens to partake if this comes about."

"I generally go with Senior Citizen Groups and only to afternoon performances. When I drive to the Theatre in Kenosha, it would only be for afternoon performances."

"The city certainly needs good entertainment to keep us in town."

"Handicap parking and seating for self and others not handicapped (together)."

"I hope that rehabilitation of the theatres proceeds at full pace."

"Entertainment is important but a 'complete package' of evening activities will provide a more well rounded environment - food, entertainment, lounge, nice atmosphere."

"I believe that Kenosha can and should support the arts much more than has been done in the past - not only bringing in "Professional" groups, but supporting our truly fine local groups - e.g. Kenosha Symphony, Lakeside Players, etc."

"I would like to see some movies in at least one of those downtown theatres again."

"Consumers are "SUCKERS" for quality and will pay a reasonably high price for a GOOD product. Please count this as 2 votes."

"I'm excited by the potential these theatres offer. Yet - How would they be better - What else would they offer - that the theatre in Reuther High School offers?? Good Wishes on your study!"

"PLEASE, PLEASE TRY TO ACCOMPLISH THIS GOAL. Kenosha needs and has needed this type of entertainment offering."

"I think opening the Rhode Theatre is great! I haven't been there yet. I would like to see more performances and concerts. I have children between the ages of 7 to 12 and I would very much like them to see theatre plays or group concerts in their hometown. We have the opportunity to do this; I want to support the Rhode Theatre."

"I'd like to participate in the revitalization process of Kenosha's theatres - will there be another organizational general gathering for willing volunteers soon?"

"I've been in the Kenosha Theatre recently - my opinion is that it's too far gone to spend the money to restore. Why not use the entire Rhode auditorium?"

"With all the talk about a marina here, nothing has been said about what we, as a city would have to offer these visitors. I feel something more than factory outlets, a dog track and numerous bars. I feel cultural events such as live theatre, concerts, etc., would enhance Kenosha's image and help to remove the idea that we are a "factory town with a Blue Collar mentality". We need the help and support of All Kenoshans in this effort to improve our city."

"We are very happy with going to Milwaukee and Chicago for quality. In Kenosha our support is and probably will remain with Parkside, Carthage, Unified Schools, and the local symphony."

"I attended both of these theatres as the Kenosha and Gateway - both magnificent structures. I would support a direct contribution program of restoration and maintenance - Original design should be restored - they were ELEGANT. Perhaps an ongoing subscription program - like public TV."

"Kenosha needs more medium size rental halls for special interest activity. EXAMPLE is Racine's MEMORIAL HALL OR FESTIVAL CENTER."

"I don't think Kenosha can support three theatres. Kenosha Theatre would be too expensive to renovate and operate on a profitable basis. Encourage the development of the Rhode and Ruether theatres - much less costly and both operating. Major performances can be attended in Milwaukee and Chicago."

"The city of Kenosha definitely needs more entertainment besides what is offered in taverns here. To attract that we need to develop a greater positive image for the city of Kenosha. This questionnaire is the first step in achieving that. Good Luck!"

"I would be very likely to attend a production in Kenosha."

"I hope you don't give up the dream. It may be a bit "far out", but I'd love to see it become a reality. Kenosha may be on the brink of an exciting new era. and I think we need to start thinking big. Good Luck."



"If there was an entertainment center located in downtown Kenosha, I'd be there every weekend!"

"I feel having an entertainment center located in downtown Kenosha would be worthwhile. Whenever my husband and I want some live entertainment, we have to drive to Milwaukee or Chicago."

"Downtown - parking needs to be close and well-lit. Would like to see some type of security around."

"Quality dining establishments should be encouraged in the adjacent area surrounding the Kenosha and Rhode Theatres."

"I would attend most events if within a reasonable price range and if it is something I enjoy seeing."

"It would be wonderful if Kenosha could provide some of the above professional entertainment at an affordable price of less than \$9.00. Somewhere in the price range of \$7.00."

"My wife and I would attend major entertainment and would be willing to pay up to \$25 per person for the right performance. At a lower cost we would attend events more often. We also are part of the NEWCOMERS CLUB AND CHURCH GROUP that would go to events as a group."

"I am not interested in "O.K." performances, which have been the norm in Kenosha. I would rather go to Milwaukee to the Milwaukee Rep. or Milwaukee Symphony than waste a night out for so-so entertainment. I am interested in HIGH QUALITY rather than big name entertainment, and make several trips a year to see "Off Broadway" and "Off-off Broadway" shows in NYC."

"Restoration of both theatres, some duplication of effort and expense. The Rhode has a better location and parking. Lakeside Players is a great group and needs constant support. Perhaps the other theatre at the Rhode should be good as a regular film cinema showing popular films. This would help generate revenue."

"Our family would go to these events much more often if we didn't have to drive to Milwaukee and Chicago for them!"

"Children productions would also be nice."

"Population needed to support these types of performances does not exist in Kenosha."

"I find it inconvenient to go out-of-town for entertainment, especially in inclement weather. By family especially enjoys musicals and country music."

"I think that this could be one of the best things to happen to Kenosha to have our very own entertainment center!"

"Kenosha residents alone will not make some types of entertainment profitable; this is not a town that will support opera. Get money from other sources than just Kenosha (grants, wealthy individuals who have left Kenosha to refurbish theatre and for upkeep). Publicize far and near - Lake County - even Burlington and Racine - We go to Milwaukee; people will travel for good entertainment. Feature/publicize this beautiful building - even Racine doesn't have a Rhode or Kenosha Theatre."

"Kenosha needs a reasonable movie house three nights a week downtown. One where you can sit in comfort."

"There is time and place and I think it is time for a good theatre and Kenosha is the place."

"Include the young generation by lower ticket price or have special attractions of bringing in the young to explore backstage and etc. of how theatre works. Let the young see the real thing, school helps but the real exposure to the real thing can encourage the young mind."

"We prefer a different location than downtown if we would attend."

"Too bad we have so many of our theatre's closed and only two box theatres open - We need Culture!! I go by train to Chicago at least once a month and drive to Milwaukee. This is Opera season now."

"Good Luck! Because this is not Chicago or Milwaukee. I think ticket prices should be kept to a minimum!"

"Keep ticket prices reasonable or it becomes too costly for a couple for an evening out - (babysitter fee, dinner, etc.)."

"As a lifetime Kenoshan, I would love my children and myself to enjoy local entertainment in such exquisite atmospheres as my elders have."

"A group of my friends and I travel to Milw./Chic. often to see performances, but one of the group is in a wheelchair so Handicap facilities are Very Important."

"Kenosha and the downtown area, certainly needs to establish itself as a city with diverse attractions! This would be an asset."

"Volunteers are needed to help rebuild the Theatre or Opera House, please let me know."

"I often frequent theatres in Milwaukee and Chicago and would be thrilled to have equal entertainment here at home."

"Both my wife and myself would be happy to patronize live theatre at a restored Rhode Opera House. The building has great potential."

"Why should we have to go to Milwaukee for Good entertainment?"

From Kenosha And Kenosha County - Controlled Mailing #2

"I've been a season ticket holder for five years with the Racine Theatre Guild. My daughter and I have been involved with Choral music for many years. I regret that Kenosha has so little variety and culture to offer. I would like to share variety and culture with my children and friends."

"An entertainment center is badly needed in this area. We travel to Racine and Milwaukee quite often for plays, music, and sports. Variety and quality would be very important."

"Would like to see some "name" entertainers. Kenosha needs more professional entertainers and productions."

"The questionnaire and study are both fascinating and interesting, I would like to encourage you to follow through and bring this type of entertainment to this area."

"My husband and I are season ticket holders to Racine Theatre Guild and really enjoy the outings. We also frequent the Fireside in Fort Atkinson. We have commented several times that it would be so nice to have something like that in Kenosha. There is a need for quality entertainment in Kenosha. I am sure if it was available, it would be appreciated."

"My daughter and I are already members at the Racine Theatre Guild, and attend the plays regularly. Also, members of the Riverside Theatre and attend many shows there. It would be nice to see Kenosha have a theatre and it would be more convenient."

"I would love to see prize winning films, foreign and art films, which never seem to make it to Kenosha."

"We would like to see more entertainment and cultural activities take place in Kenosha. If the interest is evident by results of survey, please don't think about it too long, other cities act, while we're still thinking."

"There are a number of people who would love to attend more and a variety of cultural activities. Time constraints don't allow us to attend in Milwaukee and Chicago. Kenosha definitely needs this center. Let's turn this blue-collar automotive wasteland into a well-rounded community".

"I believe Kenosha desperately needs an entertainment center. With the future marina being planned, the downtown location is an obvious choice. We fully support this effort."

"Would especially like to have live dance productions and folk music come to Kenosha. The downtown area needs an "after theatre" light meal and dessert cafe! Right now there's nowhere to go but the Village Inn on far north and west of downtown."

"I would not be interested in going downtown Kenosha; but another area, maybe. Just don't like downtown. We go to Racine Theatre and really love it."

"We would be interested in season tickets for events. Pay particular attention to parking and security in downtown area."

"Lakeside Players are second to none! High priced entertainment is not necessarily great."

From the City of Burlington - Controlled Mailing #2

"We have attended no performances in Kenosha, nor did we know the Rhode Opera House existed. No publicity on this reached me in Burlington. Kenosha is only a short drive away. We can easily attend performances if we know about them."

From Racine And Racine County - Controlled Mailing #2

"We're interested but only if there were afternoon or early evening performances because of our age group. Group rates for retirees would be nice."

"We prefer daytime performances. Cost is important on our retirement income although I am sure some arts commands top price!"

"At present we have season tickets for Milwaukee and Racine Concerts and plays to total of 22 performances from Sept. to June (11 in Milwaukee and 11 in Racine) we would not add more season tickets to our list but we would attend performances in Kenosha if there were good quality plays, musicals and concerts."

"As senior citizens we would appreciate good quality productions closer to Racine than Milwaukee. Transportation especially because of winter driving conditions is a factor."

"I do enjoy the Kenosha Symphony, but have gone only once this year. I already have season tickets in Racine and Milwaukee."

"I go to Milwaukee for performances, as well as Racine. Prefer Milwaukee to Kenosha."

"Make sure of adequate advertisement."

"As an active Racine Theatre Guild member, I am interested in any live theatre, venue that can expand my knowledge and appreciation of the potential at live productions."

"The chances of my driving to Kenosha to see performances is highly unlikely - I would rather travel the few extra miles to Milwaukee - when quite obviously because of population, facilities, quality restaurants and convenient parking make the requisition of quality acts a better possibility than Kenosha."

"Distance to travel - not practical for us!"

"Is this type of facility really needed in Kenosha? The proximity of Milwaukee and all it has to offer makes me question the NEED for another facility in the immediate area. Remember Chicago is very close and this area is very well served right now!"

"We are closer to Milwaukee, but have attended events at both Racine and Parkside. If the presentation fitted our interest we may be attracted to Kenosha more often but the Lake front location is twice as far for us as a Milwaukee event."

"Usually go to Racine for entertainment."

"This area between Milwaukee and Chicago would greatly benefit from a good facility for good entertainment."

"I am accustomed to Chicago-Milwaukee-and New York staging - therefore anything worth a \$25 + ticket price would have to be as nice or equal if it were in Kenosha area."

"Group tours to this type of entertainment are very popular and satisfactory in this area -- I question whether it would be feasible to have another entertainment center unless it would be outstanding in some respect."

"We have thoroughly enjoyed stand-up comedy acts in the past and would like to see more of this in this area."

"Would be nice venue for performances by Kenosha Symphony, Racine Symphonic Chorus, Racine Symphony Orchestra (on tour). I would like to see big name bluegrass bands and folksingers, also."

"Top question -- Since I live in Racine County, even though I WOULD LIKE to attend, does not mean I would do so. It is somewhat inconvenient to drive to downtown Kenosha. If the price and parking were reasonable, I might consider it, it's maybe. More conveniently, I attend Racine Theatre Guild plays where it is not too far from my house."

"Would only attend if the attractions were sufficient to compete with those available in Milwaukee."

"When in competition with the Chicago Market you would have to bring top quality performers here to attract customers since we don't have far to go to Chicago. Convenient parking would be a plus where Chicago is definitely a problem in that area."

"An entertainment center would be more attractive to me and I would be very likely to attend any performances of any kind - that were accessible to Deaf and hard of hearing patrons. 'Milwaukee Artreach' might be a good resource to consider for information on how to provide accessibility. Thanks for the opportunity to respond!"

"Used to attend many more live performances, but since I became disabled, we've pretty well limited ourselves to theatre only. Parking is important, as well as ease of movement and comfort in the theatre."

"Advertising and publicity about up-coming events would be crucial to me. Many times I find out about Milwaukee events too late to get "good" tickets."

"A Dinner Theatre would be nice."

"I attend functions at Racine Theatre Guild and probably would not travel to Kenosha. It would have to be a super performer or performance."

"Most entertainment I prefer can be had in Racine or Milwaukee. Kenosha would have to offer something extraordinary in order to be competitive."

Note: For additional comments see the Appendix.

## Hot Line Survey

The 'Hot Line' for phone-in comments was in operation during the newspaper and Direct Mailing No. 1 surveys. The telephone number was publicized in the newspaper display ads and in the introductory letter included with the questionnaire in the direct mailing. Upon receiving a call, the taped introduction encouraged the caller to express their thoughts on both the Kenosha Theatre and the Rhode Opera House. Following is an excerpt from the tape.

"The Purpose of this survey is to determine the depth of interest in Theatre and the performing arts in Kenosha. What kind of entertainment would you like to see? The Kenosha Theatre is large enough to make possible the appearances of top nationally known entertainment. But would Kenosha and the surrounding area support it? The Rhode Opera house is presently the home of the Lakeside Players, but is still under utilized. The Reuther Auditorium, which is somewhat smaller, now serves most civic needs, and does it well. Can three theatres function in the area? Can they do it in a complimentary fashion, with each filling their unique niche?"

Following are some comments received.

"I would attend theatre more if we would have theatres in town. I don't like to travel out-of-town to see theatre."

"I'm retired and I go to many of the museums travelogues, but I would like to see the Kenosha Theatre restored so there would be really good entertainment right here in Kenosha. I can't really get out-of-town that often and would like to see some of the people I see on T.V."



"I was never in the Kenosha Theatre, I've just seen this picture in the Kenosha News. You mean to tell me there is a theatre that looks like that in Kenosha? Why hasn't it been opened sooner?"

"High School, community and college plays are nice, but let's bring in some pro's in a really elegant place where you can dress up, have a few drinks with friends and spend a real nice evening out-on-the-town .... in Kenosha!"

"I'm filling out my questionnaire and I think it is very important that you do have local musicals so you don't have to travel 50 to 100 miles to see somebody really worth while in the entertainment business."

"I am 68 and I was at the Kenosha Theatre on the opening day with my grandmother and well remember the five acts of vaudeville and all the different things. I was also at the opening day of the Gateway Theatre when they had Tom Sawyer, the original one with Coogan, Jackie Coogan, in the role. I very much would like to see these theatres restored."

"Basically I'd be interested in some classical concerts, some rock concerts, art exhibits, particularly oriental art and foreign films."

"I'm 66 years old and retired and on social security. I like all of these suggested concerts, not just one kind but different kinds, but at reasonable prices. If possible in the afternoon for senior citizens. Weekday afternoons are fine. Prices around \$5.00 or under if possible because our income is under \$15,000 a year."

"As a senior citizen I feel we could use the Kenosha Theatre for all different events, possibly during the afternoons on Saturday or Sunday".

"I've seen many productions at the Lakeside Players home. I feel if you're going to restore the Rhode Opera House you should take out the center wall to revert it back to a full theatre. The sightlines are terrible right now and the acoustics are atrocious. This is from a theatre Major and theatre attendee."

"I would just love to get a copy of the poster depicting Kenosha from 1835 to 1935 the City of Lure and Challenge. I just loved our downtown when it was busy with all the trolleys and soforth. Those theatres would be just great. It would give new life to our downtown."

"I'm 34 and I believe that the Kenosha Theatre should be restored. What about the creative talent and economic drain we have because we don't nurture the growth and appreciation for the arts and creative expression."

## Individual & Group Interviews

Over 100 people from the Kenosha area were interviewed individually or in small groups. Included were people working in many capacities; business, financial, manufacturing, professions, government, education, labor organizations, business organizations, theatrical, public commissions/committees, societies (Art-Symphony-Historical), social work, and volunteer work. Senior citizens were also contacted.

Opinions were volunteered and sought on many subjects relating to establishing an entertainment center, restoring theatres, revitalizing the downtown business area, the future of the 6th Avenue Mall, the development of the lakeshore, thoughts on local economic prospects, the significance of historic restoration, etc. The following are synopsises of opinions expressed during these interviews.

Revitalizing downtown and developing lakeshore:

- Downtown redevelopment and development of the lakeshore must be a coordinated as a single endeavor.
- Lakeshore needs to be 12 months of activity, not five months. Must diversified year-round activities and businesses.
- Need business theme for downtown/lakeshore areas.

- City must give downtown more attention.
- Many people do not feel safe downtown.
- Downtown needs balance of office-retail and residential.
- Has not been enough local investment dollars for redevelopment of downtown.
- Promote Kenosha as good weekend vacation spot.
- BID being reorganized-good start.
- Downtown problems will not be resolved by any one thing, but a combination of good ideas and improvements.
- Downtown must have people collector incentives.
- Downtown must have retail theme.
- Downtown needs planned guidance.
- Marina influence on downtown development may be exaggerated.
- Downtown redevelopment should be mixture of business-marina-recreation-entertainment. Must be promoted by tourism.
- Living downtown and concerned about bar people on the streets.
- Kenosha lakeshore parks are big plus for the city. Do not disturb them.
- Do not believe Chrysler buildings will be torn down in 1989. (Note: The thought was expressed in December 1988).
- Marina will be start of the lakeshore business redevelopment.
- No marina, no theatre, community will not support them. (From a person who has lived in Kenosha for 40 years. She attends theatre and does shopping in Milwaukee.)

Sixth Avenue Mall:

- Downtown Mall should go, however there are some who say, keep it.
- Believe decision on Mall should not be made until final plans are approved on the redevelopment of downtown and the development of the lakeshore.
- Proper development of the blocks between 3rd and 6th Avenues are crucial to the successful integration of downtown/lakeshore. No housing (except Lakeside Towers). Must be people collector area.
- There is nothing wrong with the Mall except it has bad access from other areas of town and it is difficult for strangers to find.
- Some people not comfortable in Mall, not safe.

Better access to downtown/lakefront:

- I-94 divides county, there is minimum relationships between east and west sides.
- Downtown/lakeshore must provide strong attractions to get people to them.
- Highways 158 and 50 must be improved to provide fast, minimum congestion access for I-94 to lakeshore. Maybe another interchange off I-94 to develop 60th Street for fast access.

Restoration of Theatres:

- Downtown development plans important to theatres, financially and physically.
- There is no repertory company in Kenosha. One would be an asset to the community.
- Kenosha needs good entertainment and dining.

- There is a need for children theatre events.
- Only one theatre will make it. Not enough community support for two.
- Will need recognized name performers.
- There is a good supply of volunteers for theatre work.
- Kenosha theatre would be great for youth shows and activities.
- Jupiter development will enhance Rhode Opera House because of location.
- Many like Reuther Auditorium.
- Kenosha Theatre will only succeed if good performances are brought in.
- Dinner theatre could have style shows during lunch, also in afternoon.
- Rhode Theatre is in better shape than Kenosha.
- Kenosha can support both theatres. It is a matter of programming.
- There is much interest and money in the community to restore theatre.
- Matinees with luncheons would be great. (Senior citizen comment.)
- Theatre cannot replicate things that are already available in the community.
- Lakeside Towers residents take bus trips to various places for theatre matinees. Would probably attend matinees in Kenosha.
- Need big names and class acts.
- With current makeup of community a theatre will not make it-however Kenosha is changing.
- Questioned the amount of interest people in Lake County would have in theatrical performances in Kenosha. Promotion by Tourism could help.

- A \$15 ticket price is O.K. for good performances. An \$8 ticket price is too high for some local citizens. Must be multiple ticket prices.
- Blue collar workers more likely to have other interests than live theatre performances.

Metropolitan Chicago & Milwaukee Influence:

- Executives and white collar workers tend to go to Chicagoland and Milwaukee for entertainment and important shopping.
- Cost of housing in Northern Illinois is considerably higher than in Kenosha. Many home buyers are migrating to Kenosha area.
- People prefer to go to Chicago and Milwaukee for theatre and shopping.

Importance of Tourism to Area Development:

- Performing arts may be running ahead of tourism. Tourism must lead the way in promotion of the arts beyond the immediate market area. The Kenosha Area Tourism Corporation is funded to promote all phases of Kenosha.
- The existing image that Kenosha citizens prefer to go to Chicago and Milwaukee for a 'night out' and for others, activities must be discredited.
- Tourism must lead the way to attract people to Kenosha for all causes.
- Emphasis should be on attracting conventions and workshops to Kenosha.
- Tourism must promote bus tours from other areas to events, and activities in Kenosha. Include outlet mall stops. Promote historic sites, art events, etc.

Support facilities required by theatres and other downtown lakeshore activities:

- There is a lack of good dining facilities downtown.
- Dinner theatre should find support from residents in new housing developments in downtown area.
- Parking for the theatres is inadequate. Most downtown parking not near enough to theatres.
- Another hotel will be needed in downtown area.
- A suggestion was to develop parking at sites on perimeter of downtown area with jitney or trolley service through lakeshore and downtown areas.
- General downtown parking probably adequate for present facilities.
- Developments will need more restaurants.
- Kenosha Theatre would need good parking. Coordinate with new downtown/lakeshore developments. This will be a major need.
- Kenosha would need a good nearby restaurant.
- Need more good entertainment in Kenosha.

Comments on the arts, ethnic activities and historic restoration:

- Ethnic pride is high in Kenosha. A suggestion was for theatres to coordinate presentations with ethnic functions when possible.
- Little interaction or coordination for events, etc. between the various art groups.
- Historic preservation may be a supportive stimulant for the reactivating of the Kenosha Theatre. Very near to two historic districts.



- The arts in Kenosha are strong and well supported.
- Kenosha should have a unified arts council.
- The symphony will stay in Reuther Auditorium.

Community trends:

- Community business trend is toward an increase in white collar, management and executive citizens and a decrease in blue collar citizens.
- Town and gown relations could be better.
- Housing trends are expanding. New medium and higher cost apartment and condo possibilities.
- New residential moving west.
- New housing developments in core of city considered a good trend.
- Kenosha is losing business development because of low housing and cultural image.
- Kenosha is changing, maybe.

The opinions you have just read are those expressed by people interviewed during the course of this study. Some of the statements represent the opinion of more than one person, others are from a single source.

Summary - The following is a summary of opinions expressed during interviews.

Revitalizing the Downtown and the Lakeshore:

- A single conceptual development plan should be established for the entire area.
- There are concerns on maintaining a twelve month vibrant level of activity in the entire area during the day and the evening hours.
- There is a consensus there should be a development theme(s) for the area to promote a people collector image.
- The introduction of housing to the area has wide acceptance providing it has planned guidance.
- People must feel the area is a safe place to be in.
- Many doubt whether the downtown/lakeshore area will thrive year-round without fast access from I-94. No one commended favorably on existing access into the downtown area.
- Good downtown dining is essential to successful entertainment ventures.
- Safe, lighted parking areas are essential for evening shopping, dining and entertainment.

The Sixth Avenue Mall Debate:

- There were many pros and cons concerning the value of the mall.
- Some ask the question, 'What is the hurry?' Their position is that the destination of the mall should be made in the final planning stages for the entire area.

- Planning decisions for the area between 3rd and 6th Avenues could determine the destination of the mall.
- Some think the mall area is doing as good as other downtown areas. Lack of incentive for people to go downtown was suggested as possibly being the real problem.

#### Restoration of the Theatres:

- There are people waiting to see the planning for the downtown/lakeshore area before forming an opinion on the feasibility of reactivating the Kenosha and the Rhode theatres.
- There are pros and cons on the amount of community support that can be expected for the theatres. Some of those expressing negative beliefs qualify the position by stating the community is changing and support for the theatre arts probably will increase in the future.
- Ticket price is important. Theatre should be for all citizens who wish to attend. The fear that the price will be too high for many people appears to be the reason for non-support of a new performing arts center by some citizens.
- Some theatre fans expressed strong desires to have more live professional performances in Kenosha more often.
- Some expressed opinions that theatre should be for all ages, including performances for children. One expressed hope that children have the opportunity to become acquainted with backstage and theatrical operations.
- A number of people expressed interest in having a dinner theatre in Kenosha.
- Must be good traffic patterns to and from the theatres and sufficient nearby parking.

#### Chicago/Milwaukee Influence and Tourism:

- It is thought that many local people do leave the area for the majority of their major shopping, entertainment and a night-on-the-town. Opinions differ as to whether it is by preference or because of a feeling they cannot find what they desire locally.
- It is felt that tourism can play an important part in the success of the revitalization of the downtown/lakeshore area.
- Tourism is also looked upon to emphasize and promote a new Kenosha image to outside market areas.

#### The Arts-Historic Preservations-Ethnic Events

- The arts are strong in Kenosha, however there is little interaction or coordination between various groups.
- Strong emphasis is placed on historic preservation.
- There is belief that the arts and historic preservation enhances the Kenosha image. Restored theatres would further enhance all images.

#### Community Trends:

- Changing Kenosha's image could add support for business and community expansion.
- Housing expansion into downtown area could provide incentive for the return of certain types of retail businesses to the area.

Lake County, Illinois

There is less traveling distance from two-thirds of Lake County to the Kenosha downtown/lakeshore site than to the Chicago Loop. All of the area of the northeast quadrant of the County is less than 30 miles from downtown Kenosha. Waukegan, Gurnee, Lake Bluff, Libertyville and Mundelein, all in Lake County, are as close to downtown Kenosha as Burlington and points west in Wisconsin. With the development of improved access roads from I-94 to downtown Kenosha those areas would be less than an hour drive to the new marina area.

The population of Lake County is showing a population growth of more than double that of the northern regions of metropolitan Chicago. The County had a population of 440,372 in 1980 according to the U. S. Census, Northeastern Illinois Planning Commission. Estimated population in 1987 was 486,300 with a projected 2005 population of 611,700. The 1980-2005 fastest growing population corridor through Lake County follows I-94.

Sales and Marketing Management Magazine's 1986 Survey of Buying Power, reported Lake County having a 1985 median household Effective Buying Income at \$34,370; seventh

place in the nation. The County is expected to be in third place by 1990.

Lake County communities have been very active for many years in promoting performing arts, especially in the schools. A 1987 'Arts Facilities Needs and Assessment Study' for the Lake County Arts Council, reported 161 stage plays of various types, 20 dance performances, and 353 concerts for the year 1986. Of the stage plays reported, 76% were musicals, dramas, and comedies indicating the same high preference for these types of productions as shown in this study. Total attendance, in the County at performing arts events was reported to be 702,077. Ravinia, the oldest and largest arts organization of Lake County, reported a total of 430,700. The survey identified 33 facilities being used for performing arts. All but eight were high school, church, or civic center facilities. Only seven of these facilities have a proscenium stage with Fly Space. Of the eight, two are colleges, six are theatres, cultural centers, and the Ravinia Festival Pavilion. Ravinia, of course, is one of a kind.

There is a strong performing arts market in Lake County that is traveling to the Loop or other areas of metropolitan Chicago to attend professional performances.

They undoubtedly are experiencing the same dissatisfaction with parking and congested traffic as pointed out in the comments received in the questionnaires from Kenosha and Racine people attending performances in metropolitan Chicago. The outlet malls are proof that Illinois people can be drawn to the Kenosha area. The product must be equivalent to or of higher quality than what is available in the buyer's home area. It must be easier, more exciting and possibly less costly to obtain the product in Kenosha. The following criteria is required.

- Quality performance, professional and amateur.
- Easy, noncongested, access from I-94 to downtown Kenosha.
- Good well-lighted nearby parking, free or at least quite reasonable cost.
- Good restaurants; preferably downtown.
- Good theatrical environment.
- Continuing advertising of events in advance.
- Develop mailing lists.
- Target group attendance; by bus, etc.
- Promote all activities available in the downtown/lakeshore entertainment center.

Good entertainment center management and the Kenosha Convention and Travel Bureau will be able to add to this criteria list.

## PERFORMING ARTS EVENTS

A wide range of entertainment events presently are available in Kenosha. Any planning for future theatre scheduling must take into account the many performing arts events in the area now and the facilities in which performances are held.

Following is a brief description of the more active groups in the area providing or sponsoring musical, theatrical, dance, or other events of similar type.

### Kenosha Symphony Orchestra

This orchestra will mark its 50th season in 1989-90, an event the city can be proud of. Many larger cities would look on this with envy. Four performances will be held in Reuther Auditorium, a facility praised by both musicians and patrons. The fifth performance will be held in Siebert Chapel, at Carthage College, when the Carthage Community Choir joins the Symphony in concert.

### Lakeside Players

This amateur drama group has been in existence approximately eighteen years. Over the years performances have been in various local facilities. In the summer of 1988 the Players moved to the Rhode Opera House from their much smaller facilities at Kemper Center. Performances were held there until serious heating problems developed, when performances were moved to the Eagles Club and other temporary facilities.



The Lakeside Players are currently negotiating the purchase of the Rhode Opera House from the Business Improvement District. The presentation in the Eagles Club was a dinner theatre production. The Players usually produce five shows and a Christmas play annually.

#### Kenosha Museum Travelogues

Though these travelogues do not fall under the performing arts category, no other group comes close to sponsoring the number of "events" per year nor to the consistently large attendance per event.

For 52 years the Museum has sponsored free travelogues by speakers drawn from around the country. Twelve travelogues are presented yearly in Reuther Auditorium; the average attendance is 1,100, with many coming from Racine and south of Kenosha.

#### Lakefront-Entertainment-at-the-Shell

A variety of events, sponsored by local businesses and a service clubs are planned for this summer (1989) in the new Sesquicentennial Band Shell at Pennoyer Park. Starting in June and scheduled for Thursday nights through mid-August, the free events include bluegrass, symphony, rock, and big band concerts, a magician, a Shakespearean play, a barbershop quartet, and a performance by a Milwaukee opera company. In case of rain, Reuther Auditorium will serve as back-up location.

Carthage College

This Lutheran College moved from out-of-state to a new lake-shore campus in the north end of Kenosha approximately 25 years ago. Dramatic Arts and Music are study programs in the College and throughout the year the students present plays and concerts. Open to the public, the performances are in campus facilities: Wartburg Theatre or Siebert Chapel.

University of Wisconsin - Parkside

This public University at the northern edge of Kenosha offers undergraduate work in the Arts and Sciences and has areas of study in music and the dramatic arts. The student dramatic and music groups present plays and concerts throughout the year in campus facilities.

An Enrichment Series, a performing arts series of theatre, dance, and music featuring off-campus artists, is presented by the University during the academic year. The events are in campus facilities and are open to the public.

Bristol Renaissance Faire (King Richard's Faire)

This entertainment event is a more recent one to the area and is publicized as a tourist attraction for July and August weekends. Held in Bristol, a few miles west of Kenosha, this outdoor event joins other midwestern summer festivals using the renaissance period of 14th to 17th century Europe as a theme. The many unusual performers provide rousing and rollicking entertainment.

Racine Theatre Guild

Many Kenosha residents are patrons of the Racine Theatre Guild, and therefore productions by this group should be included in this listing of performing arts events available in the area. The amateur theatre company of local people produces six plays annually at its own relatively new theatre in Racine.

## PERFORMING ARTS FACILITIES

The performing arts events in Kenosha are held in various local facilities. Below is a listing and brief description of the larger, and most used, ones.

### Reuther Auditorium

This is the largest auditorium now in use in Kenosha for public events. When two new high schools were built, each with auditoriums, this school auditorium became a public, not-for-profit facility available to all groups. It can be rented by non-profit groups for \$11.50 per hour for janitorial fees. The school district maintains the building and provides for utilities. The auditorium was used 80 days last year. School events are not held here.

Seating capacity in the auditorium is over 1,400. Parking is good. Updating of lighting, sound and stage drapes recently has been done. The auditorium is clean and comfortable. Acoustics are very good, as are sight lines.

This is the home of the Kenosha Symphony Orchestra. In celebration of its 50th anniversary, a fine grand piano is being given to the orchestra. Special housing and storage arrangements at the Reuther have been made.

The Kenosha Museum's Travelogue series has been at the Reuther for many years. Some of the 12 lectures each year fill the auditorium.

Plays, pageants, musicals, country-western concerts, and many other type events have been given at the Reuther Auditorium.

#### Siebert Chapel at Carthage College

While not an auditorium as such, this is another facility with a large seating capacity. There is very good seating for 2,000. This chapel has a modified cruciform plan with seating on three sides of the large central raised space where the altar is located. The Chapel has a huge organ.

The Kenosha Symphony plays here when the College's choral group joins it in concert. Other concerts are held here, and the facility is used also for assemblies for large conventions held on campus during summer months. Large meetings for businesses and industries have been held here even during the school year. The beautiful campus overlooking Lake Michigan is a beautiful site for the college, conventions and meetings.

#### Theatre at University of Wisconsin - Parkside

This is a superb facility with comfortable arena type seating for 750 to 800. The fully equipped fly-stage is 30 feet deep with good wing space. It has good acoustics for theatre, not quite as good for music.

The University's Enrichment Series of performances are in this theatre.

Wartburg Theatre at Carthage College

Seating capacity in this theatre is 449. The stage is 40 feet deep, though mostly dead-hung. Lighting is very good. Productions by student groups are in this theatre.

Simmons Auditorium at Kemper Center

This was the last home of the Lakeside Players before their move to the Rhode Opera House. This auditorium has a level floor with a stage at one end and a balcony at the other. This was formerly a school gymnasium; now it is often a meeting place for large groups.

Kemper Center, at one time a Episcopal boarding school for girls, has a beautiful site on the shores of Lake Michigan. The Center is now owned by the County and is operated by Kemper Center, Inc. The Center is part of the Third Avenue Historic District and was added to the National Register of Historic places in 1976. A continuing building renovation program proceeds as funds become available. Upon completion it will be a retreat and conference center for rental use by organizations or businesses. The Center with its dormitory, school facilities, chapel, and auditorium, all inter-connected, has great potential for the planned use. The chapel, a separate though connected building, is already used for weddings and some meetings.

### Rhode Opera House

The Rhode Opera House, originally known as the Gateway Theatre, opened in 1927 on the site of the original Rhode Opera House. In later years it was called the Lake Theatre. It has a spacious lobby and an auditorium originally seating between 1,100 and 1,200 people. It has a full stage house. After vaudeville days the theatre became a 'movie house'. Some years ago the auditorium was divided. The original acoustics in the 'House' were acclaimed as superb. As a divided 'House' the acoustics are poor. The Rhode is no longer a 'movie house'. It is the 'Home' of the Lakeside Players who use it for their productions.

Only one auditorium is used. Because of heating problems, the theatre was 'dark' during certain times of the year.

## ANALYSIS OF THE DOWNTOWN PERFORMING ARTS FACILITIES

There are four performing arts facilities in the downtown business district. They are:

- Reuther Auditorium is located in the old Kenosha High School on 57th Street and Sheridan Road. The school is one of four designated buildings in the Civic Center Historic District listed by the National Trust for Historic Preservation. See description of this facility in the PERFORMING ARTS FACILITIES, section - page 73. This facility is being used throughout the year.
- The Rhode Opera House is located on 56th Street near the north end of the 6th Avenue Mall. This facility is open on a part-time basis.
- The Kenosha Theatre is located on 6th Avenue at the south end of the Mall. This facility has not operated as a theatre since 1963. It has been used as a warehouse and for other miscellaneous purposes since then.
- The Orpheum Theatre is located on the Mall near the south end. This facility has also been 'dark' for a number of years.

See map of Downtown Kenosha in the ARCHITECTURAL ANALYSIS section, page 104, for the relationship of the four locations.

The contracted scope of this Study includes a complete market/feasibility study and a comprehensive architectural analysis and restoration recommendations for only the Kenosha Theatre. The purpose of the following comparisons is to establish only the basic theatrical capability of each facility.



- The Reuther Auditorium has been maintained and operating over the years. Partial renovation/restoration work was completed earlier this year. The auditorium seats 1,400 on the orchestra and balcony levels. There is a proscenium stage with a loft. It is equipped with rigging, sound and theatrical lighting systems. The acoustics are good. There is a fully equipped projection booth.
  
- The Rhode Theatre has been in use as a movie palace for many years. Some years ago it was twinned to provide two auditoriums. The building has been maintained over the years, but never totally renovated. It is now the home of the Lakeside Players. Only one auditorium is being used. The original auditorium seated between 1,100 and 1,200 on the orchestra level and a small balcony. There is a wide proscenium stage with a full stage house. Originally the theatre had sound, theatrical lighting and a complete rigging system. The present systems are temporary. There is a projection booth. It is not equipped.
  
- The Kenosha seats between 2,200 to 2,300 on the orchestra floor and in a large balcony. There is a proscenium stage with a full stage house.

Originally the theatre had complete sound, theatrical lighting and rigging systems, which no longer exist. There is a large projection booth, no equipment remains. Extensive renovation work would be required before the theatre could be reopened.

- The Orpheum Theatre seats approximately 1,000 on the orchestra floor and in a balcony. There is a proscenium stage with full stage house. All original systems have been removed. Extensive renovation work would be required before the theatre could be reopened.

The Kenosha Theatre and the Rhode Opera House are both being considered for renovation. The following is a comparison of existing conditions and general extent of work that would be required.

General atmosphere after renovation / restoration:

- Kenosha - Impressive lobby, foyers and staircases. The House; spacious, elaborate, ornate, a theatrical extravaganza.
- Rhode - Spacious, ornate, impressive lobby and staircases. The House; more intimate relationship with performance, a more relaxed atmosphere, with well designed, orderly, decorative features.

Current general conditons:

- Kenosha - Decayed from lack of use and maintenance for many years. Not completely secured from the elements. Can be restored to its original splendor. Will require extensive work.
- Rhode - In considerably better conditon. Some decay due to inadequte maintenance during recent years. Can be restored to original splendor. Will require major work.

Seating:

- Kenosha - 2,200/2,300 seating capacity on main floor and large balcony. Seats have been removed.
- Rhode - 1,100/1,200 seating capacity on main floor and small balcony. Existing seats can be restored. Seats have been removed in balcony.

Alterations over the years:

- Kenosha - Has had only limited alterations. Most notable is the entrance and the missing marquee. The marble drinking fountain and some decorative lighting fixtures and other decorative artifacts are missing. There are original construction drawings.
- Rhode - The major alterations are the twinning of the House, the abandoned balcony, and alterations to the mezzanine foyer. The marquee is not original. Original construction drawings have not been located, so all original features cannot be identified. Some lighting fixtures and other decorative artifacts are missing.

General work required:

- Kenosha - Complete renovation of the theatre proper and the street level stores.

Rhode - To return to a single auditorium the dividing wall and the suspended ceiling would have to be removed. All finish surfaces in the auditorium would have to be repaired and redecorated. If it were to remain twinned this work would be delayed until later. The theatre will never have the original theatrical capabilities until it reverts back to a single auditorium.

#### Theatrical systems:

- Both theatres will require all new rigging, curtains, sound, and theatrical lighting systems. Projection equipment will also be required.

#### Decorating:

Kenosha - Repair and replacement of finish surfaces. Complete cleaning and decorating of the entire theatre required.

Rhode - Repair of finish surfaces will be required in many areas. The theatre has been cleaned but not redecorated. As a dinner theatre, complete renovation and decorating would be necessary.

#### Mechanical and Electrical Systems:

Kenosha - Major equipment replacement and total renovation of the plumbing, HVAC and electrical systems required. New fire alarm and sprinkler systems will be required.

Rhode - Major replacement and renovation of HVAC system required. No complete inspection was made on the plumbing, electrical, fire alarm and sprinkler system.

The Kenosha Theatre and the Rhode Opera House both are capable of being restored. The structural systems are sound in each building. Each have good design details that, when fully restored, will provide a House of Enchantment for theatre goers of all ages. However, to be a viable asset to the community and to contribute support to the revitalization of the downtown area, each theatre must meet certain criterion.

- Have a define purpose.
- Provide quality entertainment at reasonable prices.
- Facilities must be convenient and comfortable.
- Be a year-round operation.
- Develop a reputation that will draw people from beyond the local market area.
- Be a part of a viable 'People Collecting' center with a, 'I would like to be there' image.
- Meet the needs for local performance participation.
- Have sound management.

The surveys conducted in the local market area indicate there is a market in the Kenosha area for live theatre performances, both amateur and professional productions. The preference is for comedy, musicals, dramas and variety acts. The demand is for quality performance from the amateur level to top name performances. After renovation/restoration both theatres will have the facilities necessary to support

full stage productions. The type and size of facility needed to support these desired events is obviously a large theatre with full-size stage, fly stage, with orchestra pit and seating capacity of as many seats as possible. Because the Kenosha Theatre could be restored to 2,200 plus seats, it is the viable restoration project in which to present the top name and other quality acts that were reported as being desired. It is obvious that the Rhode Opera House, with approximately 1,200 seats, is not large enough for such events, for ticket price would be prohibitive.

Active entertainment centers can play a supportive roll in the development of the lakeshore and the revitalizing of the adjacent business district. However, IT IS VERY IMPORTANT TO REMEMBER THAT ENTERTAINMENT CENTERS; BY THEMSELVES, DO NOT SAVE DOWNTOWNS OR CREATE TOURISM. THEATRES ARE ONLY ONE PART OF A MASTER SCHEME IN THESE DIRECTIONS AND ALL PLANS MUST WORK TOGETHER.

A Performing Art Center for southeastern Wisconsin need not necessarily be one theatre, but could be two or more combined into a collective 'Center' for marketing recognition. Properly promoted, the image of the Performing Art Center could be more impressive than the usual one theatre image. This broader scope image would have an even greater positive impact on the Kenosha cultural image. What role can

each of the downtown performing arts facilities play in this collective concept?

The Reuther Auditorium is already playing an important role in serving the community. It is the home of the Kenosha Symphony Orchestra. The Kenosha Museum's Travelogue and many other community activities and events takes place in this auditorium. The role the Reuther Auditorium plays is an established, well accepted role and should continue.

The Kenosha Theatre has the greater potential of providing for quality traveling performances, productions and variety acts, because the larger seating capacity will permit lower ticket prices for these types of traveling shows. The capability to adjust the seating capacity for various size audiences will provide good environment for smaller amateur and professional productions, movies, dance recitals, etc. Community, business and religious groups will find the auditorium a good environment for various size assemblies. The lobby and the foyers will also provide elegant areas for receptions, small gatherings, art shows and many other activities.

The Rhode Opera House can become an exciting dinner theatre by transforming the auditorium into an elegant dining room. The decorative features of the walls and ceiling would be

restored to the original splendor. The floor would be tiered to provide good sight lines. The stage could be thrust a few feet beyond the proscenium opening to provide a more intimate contact with the audience. The balcony seating would be provided for those patrons who prefer not to dine. The spacious lobby will also provide an elegant area for receptions, dances, small gatherings, art shows and many other activities. This conversion into a dinner theatre should not take place until the Kenosha Theatre has been reopened. Until then the theatre should be used by Lakeside Players for their productions and for movies. When the Rhode becomes a dinner theatre the Lakeside Players would perform in both theatres. The two theatres could be under one management.

The Orpheum Theatre could also become a part of the Performing Arts Center. One option could be to convert the theatre into a respected night club, retaining the auditorium and balcony as they exist. The floors would be tiered to provide good sight lines. The auditorium would be decorated. The stage would be used for live performances, variety acts, etc. Possibly a theme for performances by young rising performers (local, regional, national) would create an exciting image for the theatre. Another option is to install theatre seating and use the theatre for live performances, stage productions, variety acts, vocal and instrumental



in-concert performances, etc. More investigation and study is needed to arrive at precise recommendations for use of this Theatre.

### Movies

A recreation/entertainment center would not be complete without movies. The marina and other activities will draw people into the downtown/lakeshore area. To satisfy differing tastes a variety of entertainment including live stage performances, symphony, music, movies and probably other types will be necessary.

While the basic purpose of the Kenosha and Rhode will be live performing arts, both theatres may use movies for fill-in on open weekends. The Rhode operating as a full time dinner theatre probably will not show movies. However, before that happens it would be financially beneficial for the theatre to have a movie program. It would also provide the opportunity to test the market to determine what type of movies will sell the best. There appears to be a lack of alternative, high-quality movies for the general population in the Kenosha area.

At the present time, movies can be shown at the Rhode on weekends that the Lakeside Players are not holding performances. This may average 25-30 weekends a year. The

recommendation is, at this time, to show movies only on weekends, Fri., Sat. and Sun., with two showings each evening. This will provide revenue for the Rhode and also build a market for the future.

There may be a market in Kenosha for high quality movies that never seem to be played in cities other than huge metropolitan centers, as Chicago or Milwaukee. However, these movies are widely critiqued on television and in magazines and therefore, a segment of the population have heard about them and wish to see them. Some of these alternative movies, such as New York Stories, A Cry In The Dark, Dead Calm, Dangerous Liasons, Amadeus, Tap, Jackknife, and select foreign films, can add substantially to the revenue of either theatre facility. However, it must be cautioned that a careful analysis of the type of movie that people in a given area want to see must be undertaken by someone familiar with the film world.

In booking these films, it is possible to deal directly with the major film distributors. There is also a film shipping service out of Milwaukee. Most of these movies can be booked as second-run, within a few months of being played in the major cities on a first-run basis. The film companies usually want a fee of 35% of the gross, but it is possible to gross

an average of \$1,200 a weekend, thus leaving a nice profit. This has a ticket-price of \$3.00. Based on 30 weekends a year, it is possible to have a net income in the \$20,000-\$25,000 range per year exclusive of concessions. Accompanying concessions would add about \$6,000 a year at the average of \$.50 per person.

Many of the restored vaudeville theatres do provide movies in their program. Some have found a good market for movies, especially those theatres who become known as specializing in special types of films; those with limited circulation but good reviews, foreign films, the good classics, or a mixture. The response to the questionnaire survey indicated there is a strong general movie market in the Kenosha area.

#### Dinner Theatre

Dinner theatre was not included in the questionnaire survey, however some comments that were returned with the questionnaire expressed an interest in this type of entertainment. Three or four people interviewed were asked their opinion on whether there is interest in this type of entertainment in Kenosha area. The consensus was that there is a substantial following in the area who travel to Fort Atkinson and to metropolitan Chicago for dinner theatre performances. Two responded that there may be a market created when the new downtown housing is occupied. These residents may be

more familiar with dinner theatre than the average Kenoshan resident. Many retired people attend dinner theatres, especially matinees. Approximately 24% of those people responding to the questionnaire surveys were retired.

Dinner theatres do bring people into the area, because these theatres will draw from larger market areas. This especially is true when the theatre heavily promotes bus tours. Bus tours to dinner theatres are very popular, especially to retired people. These tours are more often scheduled for matinees rather than evening performances. The promoters of bus tours many times prefer locations with multiple interest because they have greater appeal to their patrons.

Dinner theatres do draw people to the area, especially on weekends. This provides a leveling out of attendance because bus tours usually occur during the week. Some people undoubtedly spend a night, especially if there are other attractions in the area. With the outlet malls, the lakeshore, fishing, the marina, the dog track and some of the other attractions that seem likely to come to Kenosha, it could become a popular weekend vacation spot.

A dinner theatre needs a high population count in their immediate market area. The population count in the Kenosha

market area, consisting of Walworth, Lake, Racine and Kenosha counties, meets this requirement.

The market area of each of the following dinner theatres overlap the Kenosha market area.

- The Fireside Theatre, located in Fort Atkinson, Wisconsin has its own private shops and a public restaurant where all dining takes place. The performance takes place in a theatre in-the-round. All facilities are under one roof. The shows are professional productions. This is a year-round theatre. They rely heavily on bus tours.
- The Shady Lane Theatre is located in Lake County, Illinois outside Marengo, Illinois. There is a public restaurant and shops that are not connected with the theatre. The theatre is in a converted barn. The shows are professional productions. There is a ten month theatre season during which six plays are presented.
- The Clock Tower Dinner Theatre is located in the Clock Tower Resort and Conference Center in Rockford, Illinois. The shows are professional productions. The season is year-round. The theatre does schedule bus tours, however major support is the resort/conference trade.
- The Lincolnshire Theatre is included in the Marriott's Lincolnshire Resort and theatre located in Lincolnshire, Illinois. The shows are professional productions and maintain a year-round season. Major support for this theatre is from the resort/conference trade.
- Two dinner theatres outside the Kenosha market area are included because of their successful operations in less populated market areas.
- The Circa '21 Dinner Playhouse' is located in Rock Island, Illinois. This playhouse performs in a converted vaudeville theatre. The dining areas are in the auditorium. The floor is tiered with table settings two through ten or twelve patrons. There are

good sight lines and sound. The 'House' has a fine dining/theatrical environment. This is a year-round operation. The shows are professional productions with both local and outside performers. The regular performers also wait tables. The theatre relies heavily on bus tours.

- The Conklin Players Dinner Theatre is on a farm near Goodfield, Illinois. The theatre is in a converted barn. Dining is in the auditorium which has a small stage. The productions are light, zany and full of music and dance. The Conklin Players are a residence professional troupe. The performers also wait tables. The theatre relies heavily on bus tours.

When attending dinner theatre many patrons prefer dining in the auditorium because the environment is that of a dinner theatre and not a restaurant. When the performance and dining take place in separate places, this more casual atmosphere is lost.

A dinner theatre's probabilities for success are enhanced by the following:

- Must have quality performances and food.
- Must be a year-round operation with minimum down time between shows.
- Promotion must be consistent, well organized and supported in both the immediate and extended markets.
- Taking advantage of bus tours and other group packages.

Dinner theatres do draw people to an area. The Rhode Opera House Dinner Theatre would provide support to other businesses

in the downtown/lakeshore area and will also enhance the entertainment image of the area.

### Arts Council

The surveys revealed there is a need for the coordination of the activities and the promotion of 'The Arts' in Kenosha. To encourage the growth of the arts in Kenosha, an active and strong Kenosha Arts Council should help maintain an arts calendar of events, to be shared and used by tourism, and to promote further development of new arts groups in the community.

Summary: This is a summary of the Analysis of the Downtown Performing Arts Facilities.

A Performing Arts Center for southeastern Wisconsin in the downtown/lakeshore area can provide a large variety of live stage performances and productions in the four existing theatre/auditorium facilities. Each facility would specialize in different areas of the performing arts. The image would truly be one of 'A Center for the Performing Arts'.

The following are the recommended roles to be played by each of the facilities.

- The Reuther Auditorium is to continue in its present role as 'The Home' for the Kenosha Symphony Orchestra and other community activities and events.

- The Kenosha Theatre, after renovation/restoration is to be used for live stage performances and productions, movies and non-theatrical workshops and assembly events. Future offices of a coordinating Art Council could be on the upper floors of the Kenosha Theatre by converting the apartments to office space.
- The Rhode Opera House, for the present, is to continue with the twinned auditorium, using one auditorium for live stage productions by the Lakeside Players and the other for movies. After the Kenosha Theatre is reopened the Rhode is to be renovated into a full time dinner theatre.
- The Orpheum Theatre could be renovated as a respected night club or a live stage theatre presenting touring company productions and in-concert vocal and instrumental performances.

The study has identified definite local support and persuasive reasons as to why the Kenosha Theatre and the Rhode Opera House have the potential to play an important supportive roll in the redevelopment of the Lakeshore and the revitalizing of the adjacent business district. The two theatres and the Reuther Auditorium, collectively The Performing Arts Center for southeastern Wisconsin, will enhance a lakeshore recreation/entertainment image and the culture image of Kenosha. By expansion of the local entertainment facilities many area people will be able to participate and/or enjoy theatre art more often. The theatres, properly managed and promoted, will also bring people into Kenosha and lakeshore area. New higher income housing in the immediate and adjacent areas will be an asset to the theatres.



Theatre related parking is necessary. Additional restaurants in the lakeshore area will be an asset to the theatres. Dining on the top floor of the Dayton Hotel, overlooking the marina and Lake Michigan, would be ideal.

OPERATING BUDGET AND PERSONNEL

In projecting income and expenses for one year's operating of the Kenosha Theatre, local rates were used where applicable, and methods and costs of operations in similar theatres were used as a basis for other items.

Operations of Kenosha Theatre, like similar theatres, will rely heavily on volunteer workers in many capacities. Kenosha is fortunate to have fine sources where such persons may be recruited. Following in this section is further information regarding volunteers.

PROPOSED 1st YEAR OPERATING BUDGET FOR THE KENOSHA THEATRE  
(Projected deficit \$6,100)

INCOME

Storefront Rental @ \$200/month . . . . .	\$ 2,400
Apartment Rentals (Net) . . . . .	40,000
9 Shows @ \$15 ave. x 1000 people . . . . .	135,000
Concessions/Bar Sales . . . . .	8,100
Corporate Sponsorships . . . . .	18,000
Other Rentals of Facilities 10 @ \$750 ave. . . . .	7,500
	<hr/>
	\$211,000

EXPENSES

Insurance . . . . .	\$ 14,500
Utilities . . . . .	28,000
Telephone . . . . .	1,200
Trash Removal . . . . .	500
Maintenance . . . . .	2,000
Director/Promoter Salary . . . . .	24,000
Technical Director (part-time) . . . . .	5,200
Janitor/Maintenance (part-time) . . . . .	5,200
Secretary/Tickets/Coordinator (part-time) . . . . .	6,000
Payroll Taxes . . . . .	4,500
Advertising . . . . .	10,000
Office Supplies, Postage . . . . .	2,000
Talent (9 Shows) . . . . .	108,000
Printing (programs, tickets) . . . . .	1,800
Concession/Bar Expense . . . . .	2,700
Miscellaneous . . . . .	1,500
	<hr/>
	\$217,100

## BUDGET EXPLANATION

### Income

The following explains various items in the Proposed Operating Budget regarding projected INCOME:

1. Store-front rental would supplement Theatre income. Consideration might be given to attracting a confectionery as a tenant; it could provide a means of selling such products for performances, possibly on an additional percentage basis.
2. It will be important to have income from apartment rentals. Rentals to be established to produce a minimum net income listed.
3. The break-even point in this operation would be one-half the house (1,000). A \$15 average ticket price has been used; there would be a range of ticket prices for any one event based on seat locations or classifications of audience. In the first year, nine events should be the goal; this is VERY dependent on the skills and knowledge of the Director/Manager.
4. Concessions/bar anticipates selling soft drinks and beer/wine (if a liquor license is available) at events. The income is predicated on \$0.90 per person average for a total of 9,000 patrons at 9 events. This average is fairly standard and may seem low, but many in attendance do not purchase anything. Concession sales will vary with

production, time of day, weather conditions, etc.

The ratio of income to expense is 3:1.

5. Corporations or businessess will donate money to help underwrite the cost of a show, usually in exchange for publicity. Obtaining such sponsorship will be VERY dependent on the abilities of the Director/Manager in fund-raising.
6. Other rentals of the Theatre should be possible; a first year goal is projected at 10 events. This item, also, is dependent on the outreach and abilities of the Director. Such rentals may include:
  - a) Rentals to promoters for various shows: beauty pageants, body-building contests, etc.
  - b) Large meetings, training sessions, seminars, etc.
  - c) Lobby rental for receptions, meetings, and parties.
  - d) Sound stage rentals.

In addition a charge will be made for cost of electrical usage, metered time during rental, for all rehearsals and performances, concerts, shows, etc. using stage lighting system. This income will be set aside for electric lamp replacement, therefore no expense item appears for lamp replacement.

EXPENSES

The following explains various items in the Proposed Operating Budget regarding projected EXPENSES:

1. Insurance, utilities, telephone, trash removal expenses are estimates based on operations of comparable sized theatres.
2. Maintenance expense will increase yearly and should be anticipated in yearly budgets.
3. Director/Promoter has a salary commensurate with the many important duties to be performed. The success of the financial operations of the Theatre will depend, in large part, on the abilities of this person. (See the Job Description for the Director/Promoter.)
4. Technical Director (part-time position) will be required to be at the Theatre at all times when the stage facilities are in use. (See Job Description for Technical Director).
5. Janitor/Maintenance person (part-time position) will oversee the cleaning and repairs of the building. This person will need additional help; volunteer helpers should be sought for at least the first years of operations.
6. Secretary/Tickets/Coordinator (part-time position) will perform various secretarial duties, train and supervise others for ticket sales, ticket taking, selling concession items, ushering, and other such jobs to be performed by volunteers.

JOB DESCRIPTION - DIRECTOR/PROMOTER

Qualifications

1. Good knowledge of the community and county, including the people, activities, organizations, businesses and local economics.
2. Ability to promote the Theatre and the acts booked into it through comprehensive advertising campaign.
3. Ability to make sound contractual arrangements with previous experience in working with agents, riders, etc. in the entertainment field.
4. Ability to manage Theatre operations; budget time money wisely.
5. Ability to work well with people.
6. Be a creative thinker and not too much a gambler.

Duties

1. Schedule all bookings.
2. Review and deal with all contracts.
3. Direct Secretary, Janitor, and Technical Director in duties appropriate for each event.
4. Make all fund-raising contacts necessary for additional monies needed.
5. Plan and execute all phases of advertising campaigns as a total and for each event under sponsorship of Theatre.
6. Develop rentals from promoters and local groups and residents.
7. Do all ordering; collect and verify all bills.
8. Prepare reports and recommendations to Theatre board.
9. Prepare annual budget and be answerable for the budget.
10. Hire and oversee any other employees; train if necessary.
11. Make initial contacts to enlist volunteers: i.e. college drama departments, the local volunteer bureau, etc.

## JOB DESCRIPTION - TECHNICAL DIRECTOR

### Qualifications

1. Working knowledge of stage lighting, sound systems, rigging and other stage and house equipment.
2. Technical knowledge of stage and house equipment.
3. Capability of making minor equipment repairs and adjustments.
4. Ability to understand needs of performing artists and to work with them.
5. Ability to translate riders of needed equipment into alternative choices and choices for Director's Budget for the event.
6. Ability to train and direct volunteers to assist in the operating of stage and house equipment.

### Duties

1. With Director, determine and schedule the equipment needed for each event.
2. Execute and/or direct the placing, adjusting and testing of stage equipment for all performances.
3. Be at the Theatre at all times the Theatre stage facilities are in use.
4. Operate or oversee the operating of all stage equipment when stage facilities are in use.
5. Be responsible for maintaining stage equipment in good working order.
6. Work closely and carefully with all road companies, keeping in mind the primary concern is the Theatre and protection of it and its equipment.
7. Design and execute lighting and hanging plots if needed.
8. Be able to adequately design and execute sound reinforcement and direct the placing and operating of such equipment.



VOLUNTEERS - THE NEED AND THE SOURCES

Like other not-for-profit theatres, the Kenosha Theatre will need many volunteer workers to make its operation successful. Kenosha is fortunate to have several sources for recruiting these volunteers.

One of the duties listed on the Job Description of the Director/Promoter is to make the contacts for enlisting volunteers. The Kenosha Voluntary Action Center is an organization for matching up the needs of non-profit groups with volunteers. An early contact with this group would be appropriate.

The drama departments of Carthage College and University of Wisconsin - Parkside are likely to have students who would be interested in hands-on experience in technical aspects of stage procedures and operation of rigging, lighting and sound equipment of a Theatre. The Job Description for the Technical Director includes as a qualification "ability to train and direct volunteers to assist in the operation of stage and house equipment".

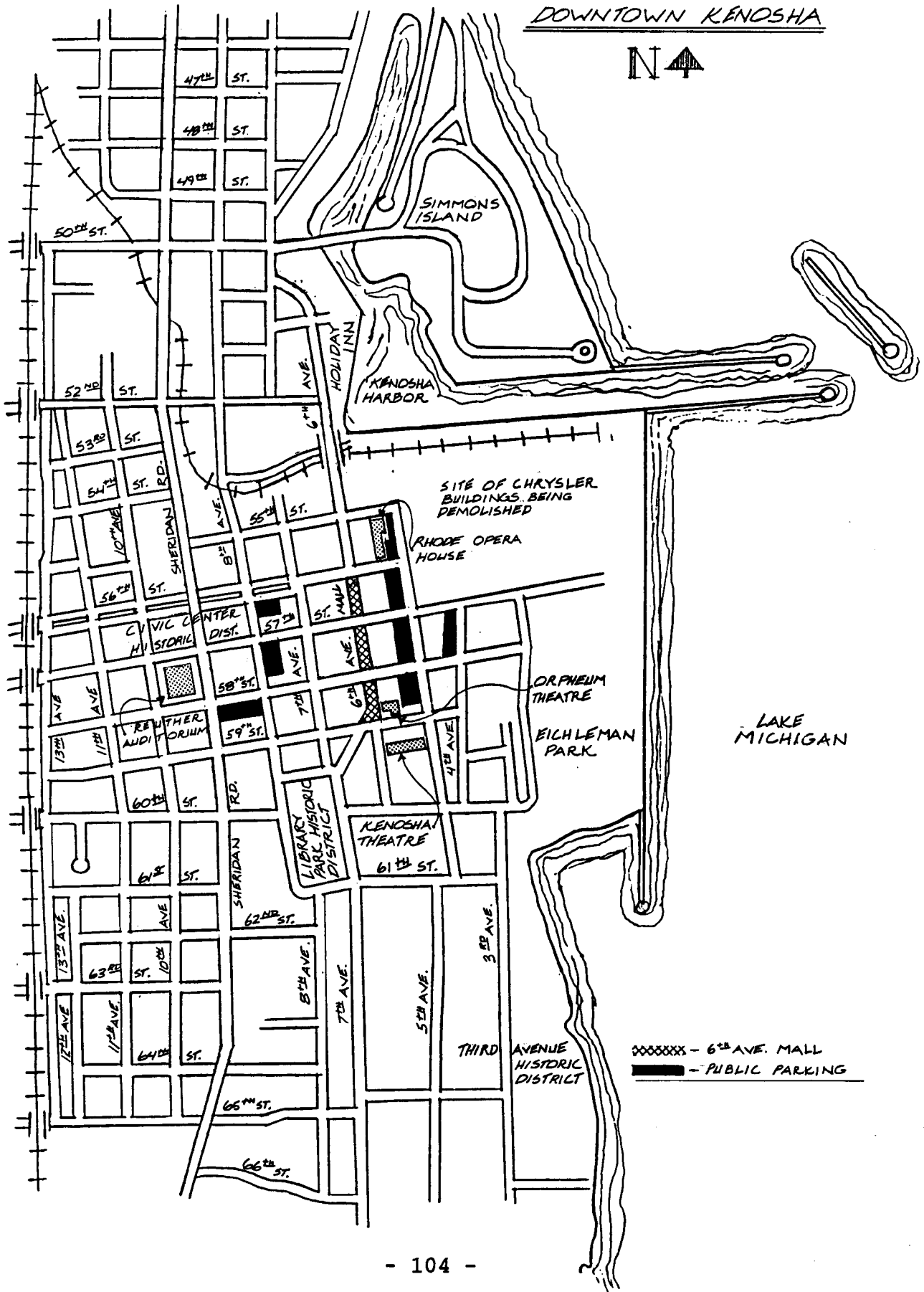
Listed under the duties of the Secretary/Tickets/Coordinator is "train and supervise others for ticket sales, ticket taking, selling concession items, ushering". There will be many jobs to be filled by volunteers.

## ARCHITECTURAL ANALYSIS

### Location & Site Analysis

The Kenosha Theatre is located on the east side of 6th Avenue between 59th and 60th Streets, just beyond the south end of the 6th Avenue Mall. See map of the Lakeshore Business area on the following page. Third Avenue, the west boundary of the proposed Southport Lakefront Development, is less than two blocks to the east of the Theatre site. This redevelopment between 3rd Avenue and the shore of Lake Michigan extends from 60th Street to Kenosha Harbor, six blocks to the north. The development includes a 600-boat marina, centrally located between lakefront housing projects, now in the planning stage, on the north and south ends. Construction on the marina began in July 1989. This development of the lakefront is heralded as the leading edge to an overall redevelopment of Downtown Kenosha, which extends to the north and west of the Theatre. The Civic Center Historic District is on the west side of the Downtown area, five to six blocks to the north and west of the Theatre. This is one of three historic districts in the City of Kenosha. A block away from the Theatre to the south and west, is Library Park and the Gilbert M. Simmons Memorial Library. It is the center of the Library Park Historic District with 25 historic significant buildings and homes. A block to the south of the Theatre along 3rd Avenue and the lakeshore is

LAKESHORE  
DOWNTOWN KENOSHA



▼ Dayton Hotel



▲  
1989

KENOSHA  
THEATRE

1927 ►



1989  
▼



▲  
6th Avenue  
Looking Northeast

◀ Dayton  
Hotel



◀ Orpheum Theatre Building

▲  
South End 6th Avenue Mall  
Looking North



▲  
North End 6th Avenue Mall  
Looking South

the northern edge of the Third Avenue Historic District with 26 historically significant homes and buildings.

Downtown Kenosha has been on the decline for a number of years. Many retail and other businesses have moved out of the area during these years and considerable street level and upper floor space is vacant. In the 1970's the stretch of 6th Avenue between 56th Street and 59th Street was converted to a walking mall. The east-west streets remained open to traffic and the in-block street was closed, landscaped and equipped with the usual appointments. Off 5th Avenue behind the buildings on the east side of the mall, 190 public off-street parking spaces were created. Another 90 public spaces are one block east on the west side of 4th Avenue. Two blocks west of the mall are 149 spaces. There is also some street parking.

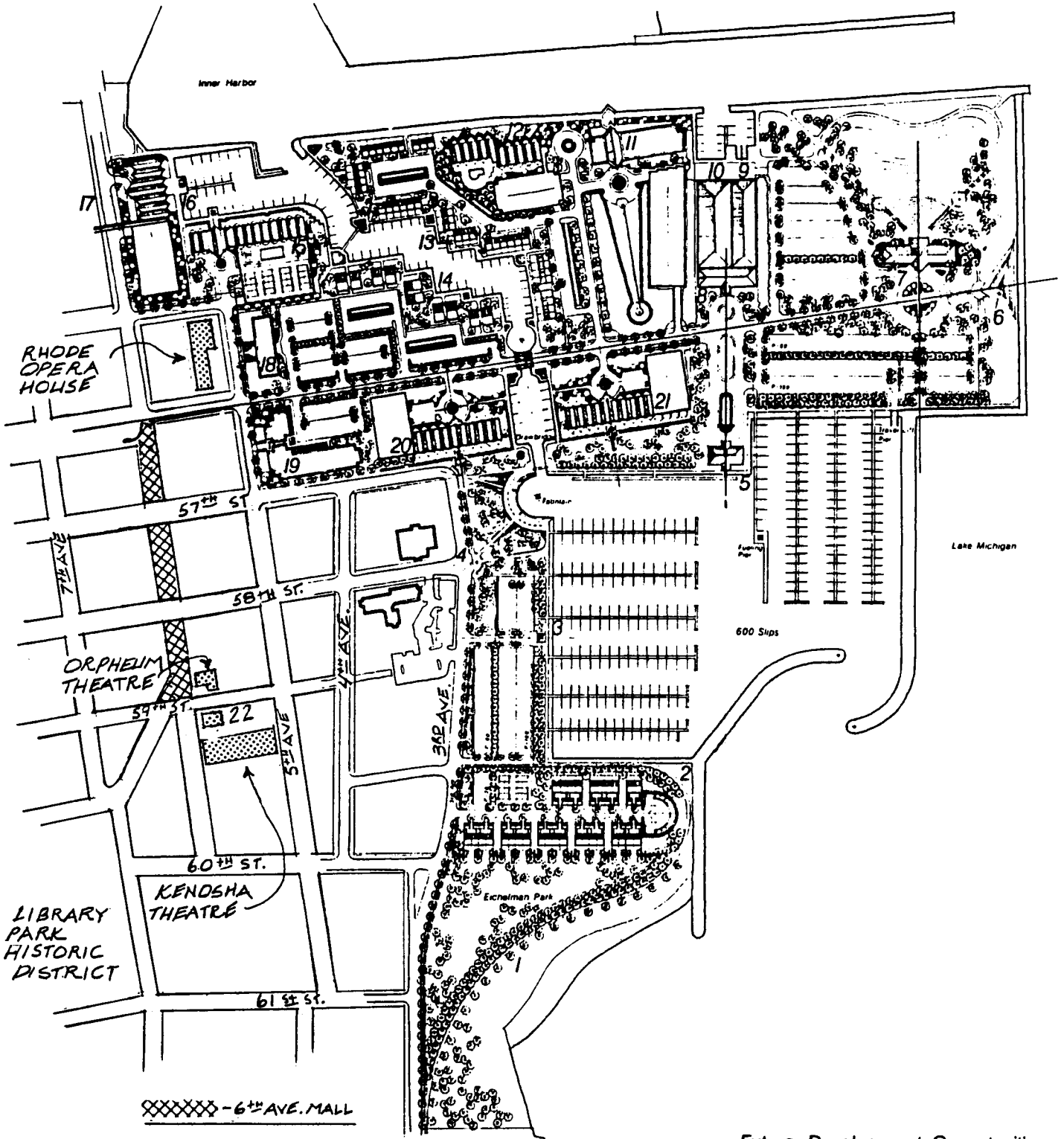
There are street level and upper floor vacancies in the Mall area. Consideration is now being given to the reopening of 6th Avenue. Should the area between 3rd and 6th Avenues be redeveloped creating new retail businesses directed towards attracting visitors and vacationers, the effect may be the revitalization of the mall. Consideration should be given for creating an east-west mall (not by blocking-off a street but through the center of blocks)

## FUTURE DEVELOPMENT OPPORTUNITIES PLAN

### Facility Key

1. Lakefront Promenade
2. Waterfront Housing (2-3 Stories)
3. Marina Service Center
4. Heritage Place
5. Marina Administration and Restaurant
6. Lake Overlook
7. Lake Pavilion
8. Boat Sales and Showroom
9. Vessel Repair
10. Dry Stack
11. Corporate Office 180,000 GSF (9 Stories)
12. 180 Unit Apartment (10 Stories)
13. 117 Waterfront Units (2-3 Stories)
14. 80 Waterfront Units (4 Stories)
15. 240 Unit Apartment (12 Stories)
16. 250 Room Hotel (10 Stories)
17. Conference Center
18. Office 28,000 GSF (2 Stories)
19. Office 26,000 GSF (1 Story)
20. 180 Unit Apartment (10 Stories)
21. 180 Unit Apartment (10 Stories)
22. Dayton Hotel (7 Stories)

This Future Development Opportunities Plan is taken from the December 1988, Preliminary Design Report of the Southport Study by Johnson Johnson & Roy, Inc., Ann Arbor, Michigan.



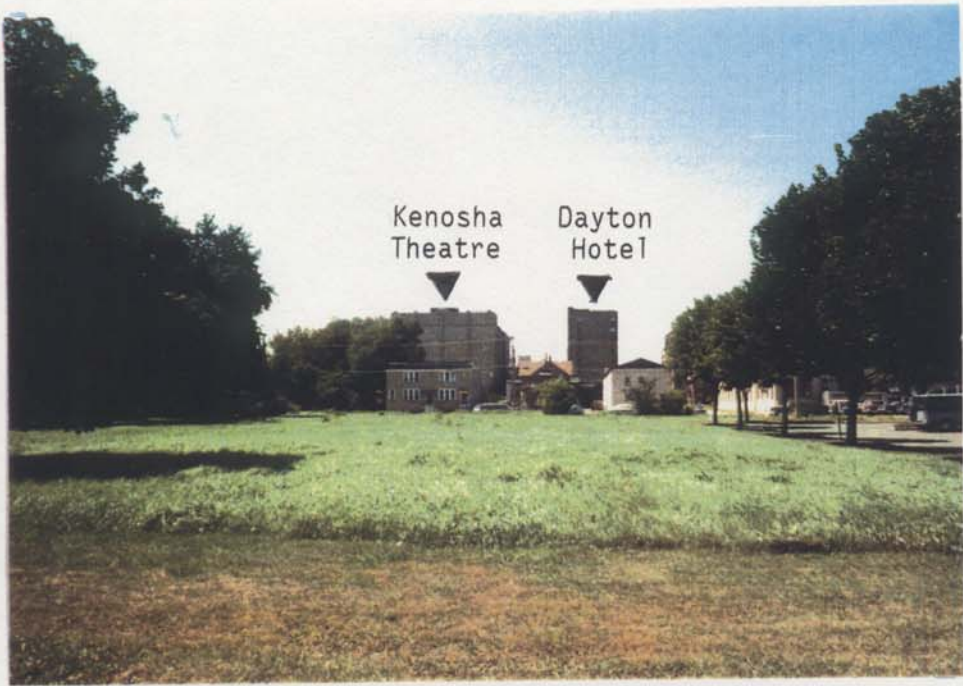
Future Development Opportunities



**SOUTHPORT**  
KENOSHA, WISCONSIN







Third Avenue Looking West



Third Avenue Looking West

from the marina to the existing mall for new businesses. This would provide a natural flow corridor between lakefront and the existing business area. Vacationers and casual visitors, who are accustomed to walking when shopping and browsing, will flow from one area to the other. The integration of the lakefront and the existing business area is of vital importance to the creation of a southeastern Wisconsin Performing Arts Center in Downtown Kenosha. The new medium density lakefront and civic center housing will also result in greater demand for downtown shopping, services, restaurants and entertainment. It will be interesting to study the recommendations for the area east of 6th Avenue in the forthcoming Kenosha Downtown Master Planning studies now being conducted by a planning consultant firm.

The presence of more visitors and vacationers on the lakefront and in the downtown area will also result in more sightseeing in the three Historic Districts.

Entertainment is an important attribute to a viable Downtown Kenosha. Good entertainment and restaurants will keep it open after 5 PM. There are four performing arts facilities in Downtown Kenosha. Many Kenoshians know of only one, Reuther Auditorium in the Old Kenosha High School located

in the Civic Center Historic District. Within four blocks there are three historic vaudeville theatres not in operation. In theatre terms, they are 'dark'. The Kenosha Theatre anchors the mall on the south, the Rhode Opera House anchors the mall on the north, and the Orpheum Theatre is on the mall. See map of downtown area. Development of an entertainment center will be a valuable asset to a revitalized downtown-lakeshore area. The attributes of these four facilities are quite different. A relationship of the four is discussed in the Market/Feasibility Study.

The site is 266' deep extending from 6th Avenue to 5th Avenue. Frontage on 6th Avenue is 85', on 5th Avenue it is 100'. Off 5th Avenue a 10' wide concrete drive extends 122' on to the site on the north side of the building and another drive on the south side extends 134' on to the site. These two drives provide emergency exit paths from the auditorium and service access to the building. Except for these concrete drives and a small courtyard on the south side between the three-story front section and the auditorium proper, the structure occupies the entire site.

On the property adjacent to the theatre on the north is a residence hotel located on the corner of 6th Avenue



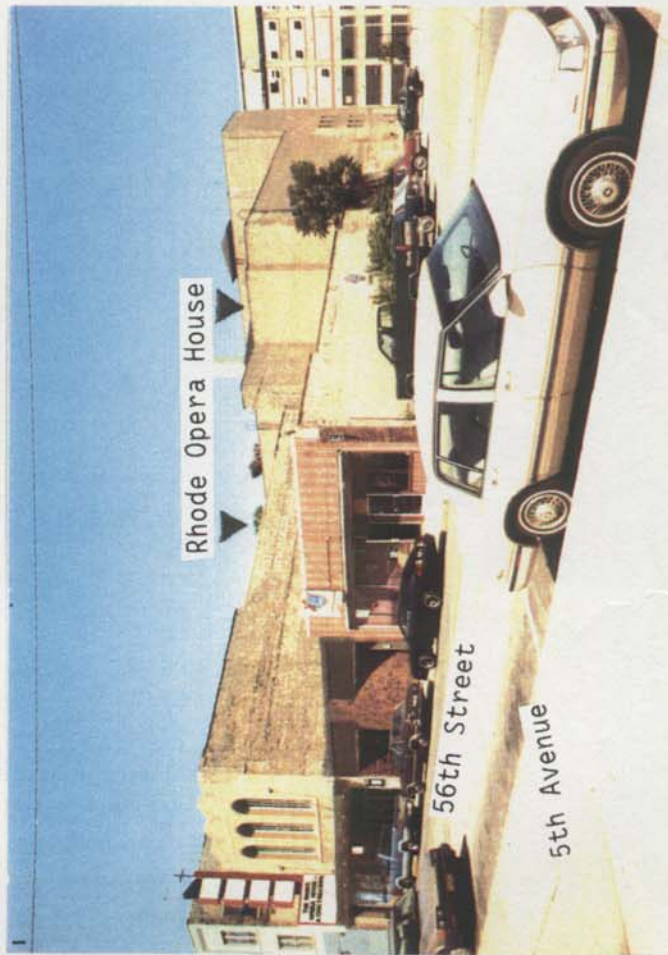
Kenosha Theatre

Dayton Hotel

6th Avenue

60th Street

Orpheum Theatre



Rhode Opera House

56th Street

5th Avenue



Entrance

6th Avenue

59th Street

and 59th Street. In the same block a small apartment house is on the corner of 5th Avenue and 59th Street. A one-story building housing a business is between the hotel and the apartments. Houses and private parking occupy the remaining property to the south of the theatre. in this block. Across 6th Avenue are two-story buildings housing business establishments on street level with apartments and other rentals above.

Parking for loading in and out for a performance will be difficult. The loading door to the stage is in the east wall off of 5th Avenue. Permission must be obtained to develop the public walk area to permit parking parallel to the building to service the stage. This is a must for certain type of performances, such as a circus, that work in and out of trucks during the performance.

Except for private business parking, there is little off-street parking in the immediate area of the theatre. At 5th Avenue and 58th Street, 1½ blocks from the theatre there are 84 public off-street parking spaces. All other public parking in three or more blocks from the theatre. Additional parking within two blocks of the theatre will be necessary.

It will also be important to provide public transportation to the main entrance of the theatre. Accommodations for tour buses will be necessary. Nearby provisions for valet parking of cars could be required.

The location will be an asset to the Kenosha Theatre and the 6th Avenue Mall for a number of reasons.

- Ideally located for complete integration into the lakeshore/business redevelopment.
- Should the 6th Avenue Mall remain, the mall would be anchored on the south by the Kenosha Theatre and on the north by the Rhode Opera House. The Theatres would attract people into the mall area during afternoon matinees and evening performances.
- Close to existing and new housing.
- Relates well to two historic districts. Will help extend the restoration movement into the business district.
- During the redevelopment of the area, parking close to the Kenosha Theatre can be provided to the south and east of the site.
- Should the Dayton Hotel be restored, the top floor would be an ideal location for a fine restaurant with the best view of the lake in downtown Kenosha.
- Good traffic patterns can be developed in the redevelopment planning to satisfy the needs of the Theatres.
- The Mall's existence will become known to people outside of Kenosha through tourism and other promotional channels used for the Theatres. The center of the performing arts activities will be reflected in the Mall's image.

### History and Features

The Kenosha Evening News in 1927 had many articles with glowing accounts and detailed stories leading up to the opening, on September 1st, of the Kenosha Theatre -- 'The Castle in Spain'. Heralded as the largest theatre between Chicago and Milwaukee, the 2,200 to 2,300 seat theatre at the gateway to Wisconsin was seen as a major entertainment attraction in a wide area.

United Studios, Inc. of Chicago was contracted with to design and build the theatre and adjoining apartments for Universal Pictures, Inc., whose president, Carl Laemmle was a one-time Wisconsin resident. Mr. Laemmle founded Universal Pictures and became head of the noted movie studio and built many theatres. Ralph Beaudry was the architect whose name appeared on the drawings for the Kenosha Theatre.

While primarily a theatre for silent motion pictures with the attendant mighty organ and the orchestra pit, the Kenosha Theatre also provided for vaudeville in its waning years. A performing stage, the stage house to accomodate scenery, the dressing rooms for the performers, were built for the vaudeville performances. With the advent of the 'talking' pictures, the theatre's schedule of live performances soon disappeared.

Theatres built in the early part of the 20th century were grand buildings, with architects and Hollywood seemingly trying to outdo their predecessors in designing magnificent and elaborate vaudeville and movie palaces, many with dramatic foreign themes. Kenosha's 'Castle in Spain' was of this genre.

The theatre served as a movie palace for some 36 years and closed its doors April 21, 1963. In the ensuing years the furnishings were removed and the building served as a storage facility. Today this theatre is still the largest, and one of the few remaining, vaudeville-type theatres in the Chicago-Milwaukee corridor. Within a four block area, in Downtown Kenosha, there are three of these theatres; the Kenosha, the Rhode, the Orpheum. Only the Rhode is open, however the operation is limited.

Except for the removal of the interior furnishings, little else in the theatre has changed over the years. The soaring arches, towering pillars and columns, sweeping staircases still exist in a state that, with appropriate attention and careful refurbishing, could once again provide an exceptional, exciting theatre for live



entertainment. Excellent sight lines and acoustics of these former 'palaces' are unsurpassed by theatres of today.

The last 26 years have taken their toll of the physical features and systems. Not from use but from lack of use and neglect. The building has been without heating for a number of years. This and the leaking roof has caused deterioration of plaster in many areas. In other areas, even though the decorative colors have faded, one can still vividly imagine the grandeur of the lobby, foyers and the 'House' as a magnificent 'Castle in Spain'.

### Original Building Facilities

This discussion concerns the original facilities of the Kenosha Theatre and the business and residential areas. Today the original business and residential areas still function in those capacities. While the theatre has been used for other functions than movies and live performances, the areas of the originally defined spaces still remain. To relate to the original building facilities see copies of the original construction floor plans located at the end of this Architectural Analysis section.

The Kenosha Theatre, with facilities designed for vaudeville and movies, has familiar space deficiencies common to theatres of this size constructed prior to the great depression. These deficiencies relate to today's performing arts requirements, not to yesterday's vaudeville/movie requirements. One must compare some basic requirement differences between vaudeville and today's stage productions. Vaudeville performances, in later years more often in conjunction with movies, were of shorter duration than most of today's live performances. There were seldom intermissions. Usually there were repeat performances, with only time for exiting and the seating of the patrons between shows. Many times the patrons for the next show were waiting in the lobby before the end of the previous performance. Today live productions have an evening performance and possibly an

afternoon matinee. The length of performances are longer and there are intermissions. Patrons require milling around space, concessions and more restroom facilities than they did in the vaudeville era. Even recognizing the importance of the chorus lines in vaudeville shows, there are more performers in today's musical productions requiring more dressing room, green room, etc. facilities. The number of engagement days or weeks for productions are greater requiring greater storage facilities. Many traveling shows today carry more equipment, costumes, etc. than in vaudeville days. Staging is special for each production and more elaborate; lighting and sound is high technology

In the Kenosha Theatre the common space problems created by the changing requirements are:

- Inadequate circulation space in the Main Foyer, especially when concessions (an important source of income) are part of the intermission.
- No concession areas.
- Lack of barrier free design for the handicapped.
- No coat checking facilities.
- Inadequate public restroom facilities during intermissions.
- Inadequate office space.
- Inadequate storage on stage level, in dressing areas, and for general maintenance and operation.

- Inadequate Green Room space.
- Small orchestra pit.
- No off-stage work area for set building.
- Shallow stage limiting number of rigging sets.
- Inadequate loading in and out facilities (previously discussed).

Recommended solutions to these problems are discussed later in this Architectural Analysis.

The noting of the above inadequacies is not criticism of the original design because they are the results of changing times and conditions. Actually, the architects of many of these vaudeville era theatres provided excellent theatrical environment and facilities. The Kenosha Theatre is one of these theatres and it has some very important, good features.

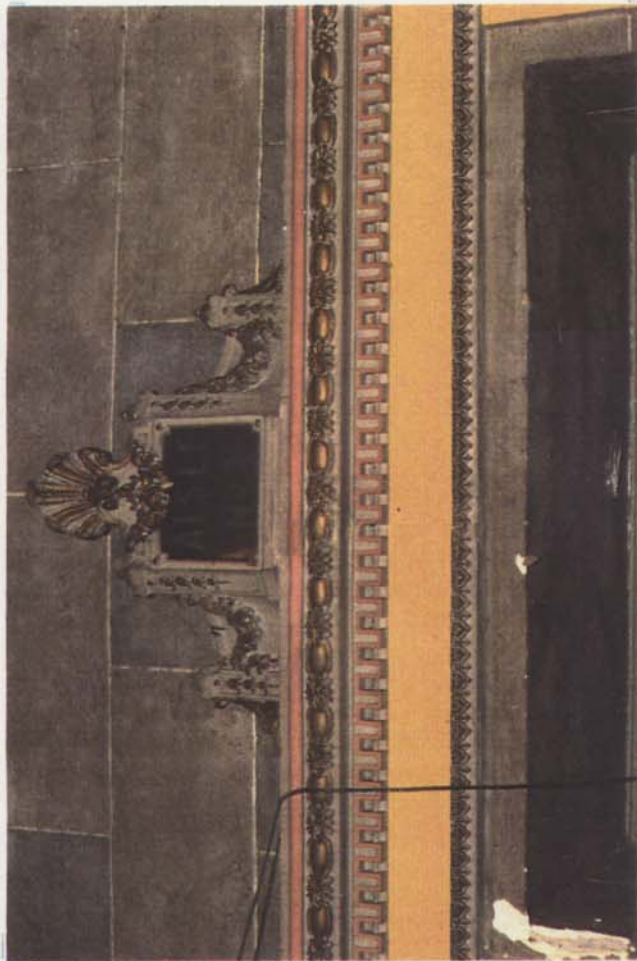
- Excellent atmosphere for a performing arts theatre.
- Good seating sight lines.
- An adequate proscenium opening.
- Documents from the earlier years of operation indicated good, natural acoustics.
- A full steel gridiron in the stage loft.
- Adequate size projection booth with good sight lines to stage.
- A fire resistant structure.

These features will be discussed more thoroughly later in this Architectural Analysis.

Portico: The main entrance off 6th Avenue has a 35' x 18' covered area. Originally a free-standing enclosed ticket booth was in the center of this area. A new replica ticket booth is to be constructed in the same location. This exterior area is a good feature in that it, together with a new marquee, will provide a sheltered drop-off and pick-up area during inclement weather. The sloping floor has a field of flagstone trimmed with tile and terrazzo. Walls and ceiling are plaster with ornamental plaster relief.

Main Lobby: This 46' x 34' area also has a sloping floor of the same materials as the Portico. The lobby, as did the portico, had poster displays on the side walls. Each end of the lobby has six pair of wood doors. The lobby size is quite adequate for arriving and leaving the theatre and will provide much needed space during intermissions. Walls and ceiling are plaster with ornamental plaster relief.

KENOSHA THEATRE  
Detail  
Lobby & Main Foyer



Aisle No. 3  
To House

Plaster  
Walls



Main Foyer: This area is L-shaped. The shorter leg is 35' x 20', the longer leg is 76' x 14' and spans the full width of the 'House'. Without the Main Lobby this area would be very inadequate during intermissions. The floor is concrete, originally carpeted. Walls and ceiling are plaster with ornamental plaster relief. An ornamental stained glass panel, with lighting, was a centerpiece between the foyer and the 'House'. Each end of the foyer has an ornamental staircase to the Mezzanine Foyer. The motif of the entrance areas is Spanish. Some original lighting fixtures remain from which replicas can be recreated. This is also true of the ornamental plaster features.

Mezzanine Foyer: As one enters this foyer from either staircase he becomes immediately conscious of the size, 76' x 31', and may well visualize the original grandeur of this area. The stair railings still remain as do some other appointments. The stairs are surfaced with terrazzo. The foyer floor is concrete, originally surfaced with carpet. The walls and ceiling are plaster with ornamental plaster relief. As exists on the main floor level, enough plaster trim and appointments remain to permit molds, etc. for reconstruction. At one time there may have been iron gates at each end of this foyer at entrances to restrooms and an office. The only information on these iron gates is on the original drawings. A centerpiece, again on

Decorative Ceiling Panel



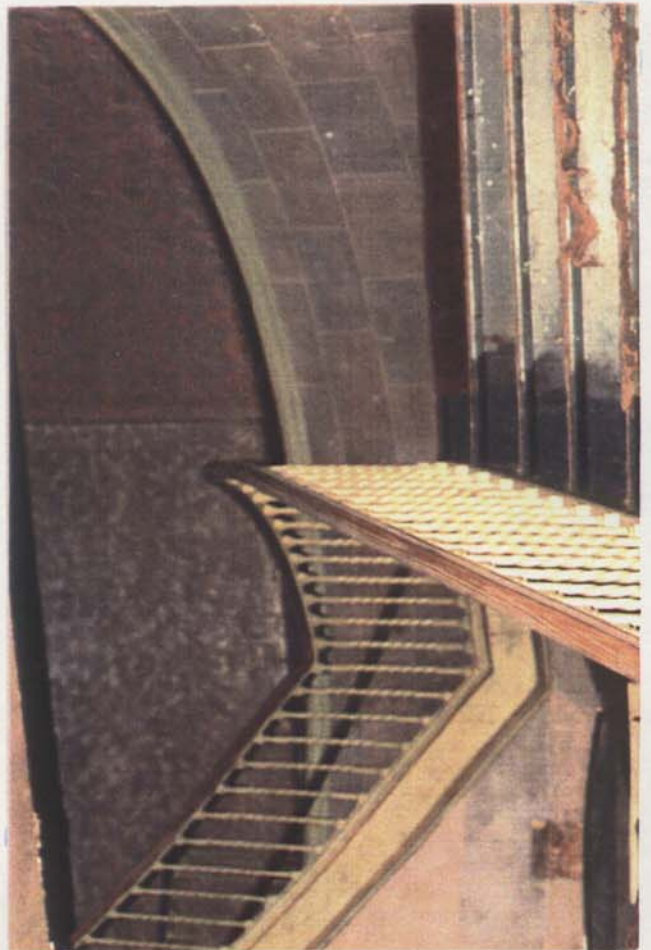
KENOSHA THEATRE

Ornamental Plaster



Original Lighting Fixture

Staircase to Mezzanine Foyer



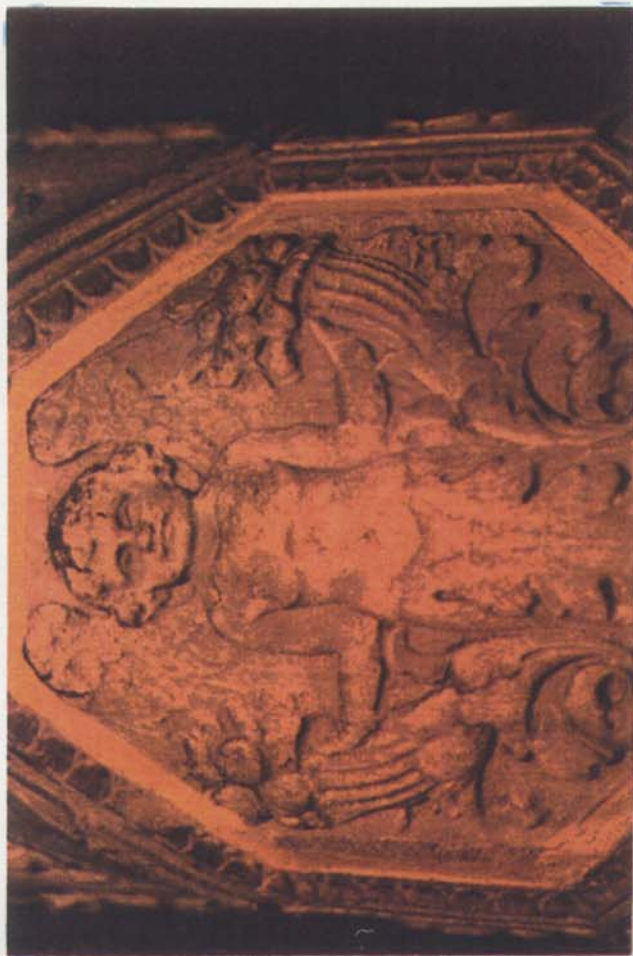
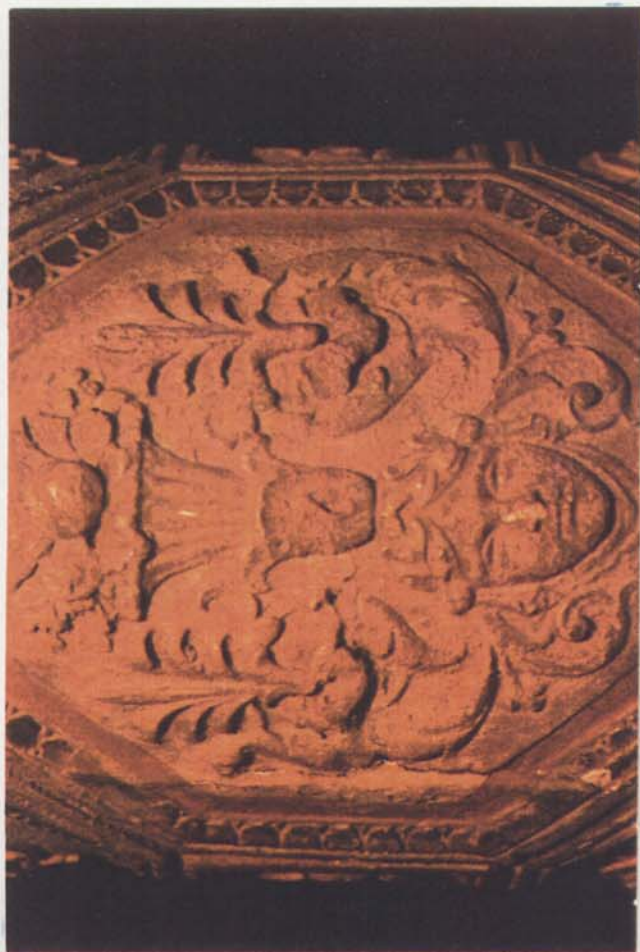


Ornamental Column  
Mezzanine Foyer



KENOSHA THEATRE

Column  
Details

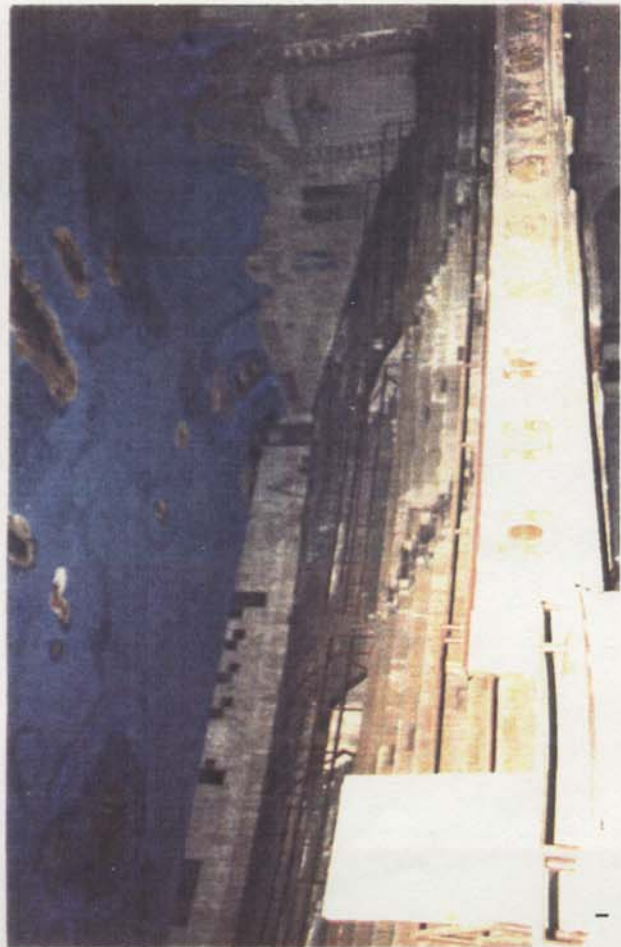


the 'House' wall, was a fountain located in a curved wall niche. The niche remains, the fountain does not. Two staircases enter the 'House' at the cross aisle between the lower and upper balcony seating.

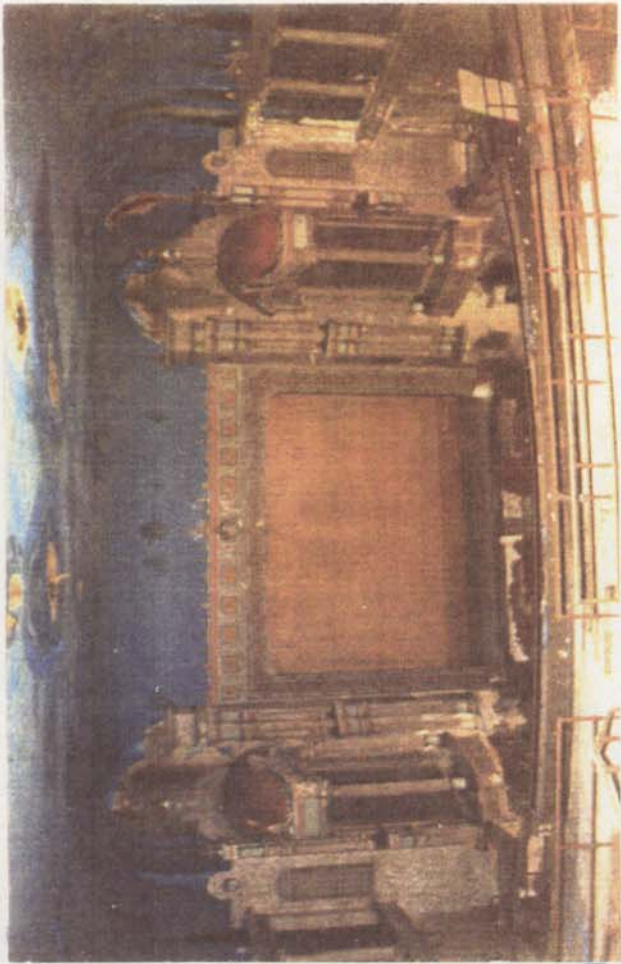
Restrooms & Offices: The only public restrooms were off the Mezzanine Foyer. The Ladies' had a small lounge, the Men's a much smaller entry area. Located beside the Men's, was a 13' x 9' Manager's Office. This was the only office space in the entire theatre.

Concessions & Coat Checking: The original design did not include these facilities. Storage facilities for the public areas just discussed were minimal, and located below the two staircases. A very small electric instrument room was on the west wall of the Main Foyer.

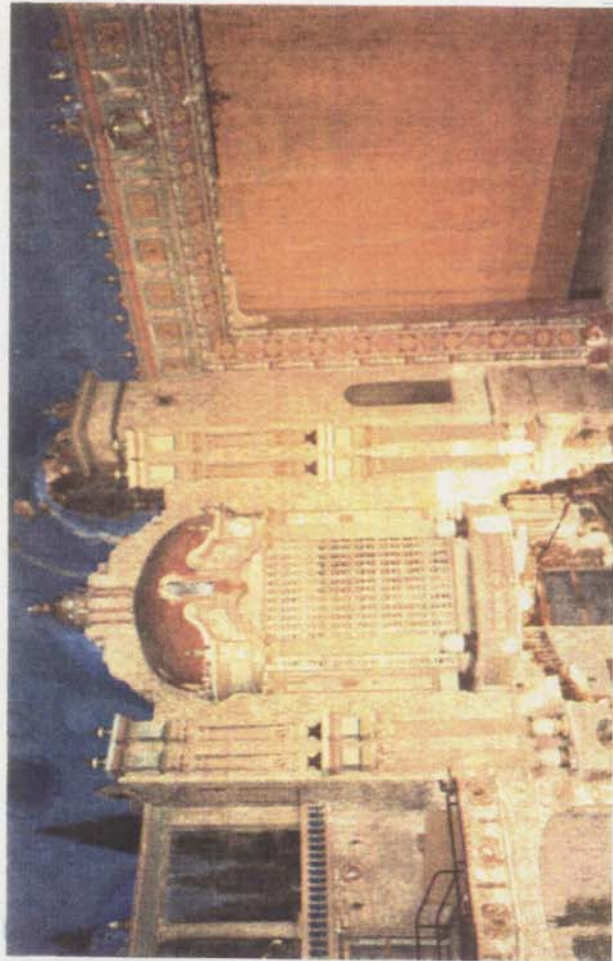
'The House': One entering the 'House' from the Main Foyer does not realize the immensity of the area because he enters under the balcony. On entering from the Mezzanine Foyer the immenseness is immediately felt. The 'House' varies from 72' to 76' in width and has a length of 124'. At the highest point, the ceiling rises to the height of 57'. All seats were removed many years ago. The sloping concrete floor of the main level and the tiered concrete of the balcony are in fine condition. The seating



Balcony



Looking Toward Stage From Balcony



KENOSHA THEATRE

CASTLE IN SPAIN

Proscenium Opening



KENOSHA  
THEATRE

CASTLE  
IN  
SPAIN

Proscenium  
Opening



Box  
Seats



area is an open air palace courtyard with the plaster walls and appointments of a Spanish castle towering to the sky. The sky had twinkling stars which can be revived. There are also descriptions of the rising moon and passing clouds. There are four boxes, two seating four patrons and two seating six patrons. The entire 'House' can be restored to its original splendor and equipped with new seats. The seating arrangement and capacity (approximately 2,300) will remain as originally designed. Again, enough ornamental plaster trim, grille work, etc. remains to create replicas of missing parts. The 'House' lighting, which greatly contributed to the enchantment, can also be restored.

Orchestra Pit: The pit is an irregular shape, 37' in length, varying from 6½' to 9½' in width. It is a shallow pit, the concrete floor being only 11½" below the 'House' floor. Stairs lead down to the dressing area floor 5'9" below the pit floor.

The Stage: At the time of the Opening Night, the stage with rigging and curtains was heralded to have the most modern equipment, pronounced by experts to be without fault. The stage clear space, 76' x 24', had a wood floor with usual floor boxes for lighting receptacles and staging

rings. Recessed footlights span the width of the proscenium opening. The shallow depth of stage will limit the numbers of rigging sets to no more than 24 plus the main and fire curtains. There are two ladders to the gridiron which is a full 66' x 25', steel framed platform. The original rigging system was a counterbalanced system providing four supports for each batten. The lockrail was on stage right near the exterior wall. The headblock beam assembly and the four loft block beams are all that remain of the rigging system. The theatrical lighting control panel was free standing on stage right and is the only remaining item of the system. It is obsolete and inoperative. Access onto the stage from the 'House' was by steps at each end of the Orchestra Pit and a stairs from the side aisle on audience right. Access to stage from dressing rooms was by door in rear stage wall on stage left. There is 19' of off-stage area on each end of the stage. The stage loading door is on the rear wall on stage-right. There were provisions made to lower trunks to the dressing area below.

Proscenium Opening: The proscenium opening is 38' x 32'. The curtain for Opening Night was described as 'a costly and exquisite iridescent curtain'. The curtain opened to the sounds of the \$50,000 giant Master Wurlitzer organ.



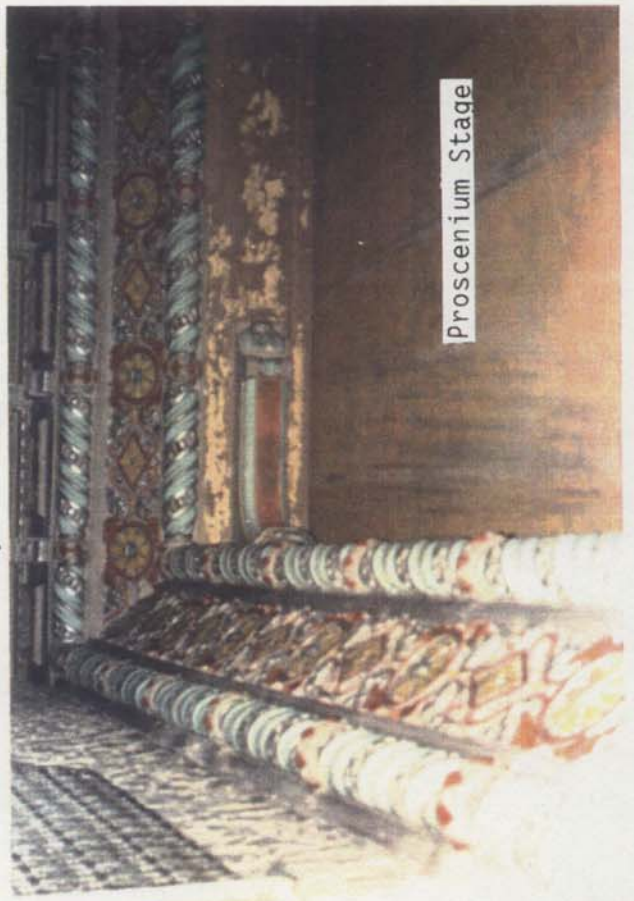
KENOSHA  
THEATRE



Proscenium Stage



Ornamental Plaster



Proscenium Stage

The organ and all the organ loft equipment was removed years ago. The fire curtain still remains suspended above the Proscenium Opening. It will be replaced.

Projection Booth Areas: The only change in this area has been the removal of the wall separation between the Rotary Converter Room and the Ushers' area. The entire area has concrete floor and plaster walls and ceilings. There are two toilet rooms, one adjacent to the Projection Booth, the other is in the Ushers' area. There is a roof hatch in the Projection Booth. The projection area consisted of three rooms: the 30' x 11' Projection Booth with a repair room on the south side and an equipment room on the north side. In the northeast corner of the Booth an area is walled-off with steel. It was probably used for film storage. The 'House' separating wall of the Booth has the usual wall ports with steel shutters still in place. There are also two larger openings in the 'House' separating wall in the repair room. These also have steel shutters. No equipment remains in the Projection Booth areas.

Dressing Areas: Behind the stage were four small, 7' x 8', Dressing Rooms and two Restrooms. Below the stage there were five, 9' x 10', dressing rooms and two larger rooms for chorus, 22' x 9', and musicians, 18' x 9'.



A trunk area was also located below stage. All dressing areas will require total reconstruction.

Performance Support Areas: Behind the stage were two small rooms for stage props. In the basement, in the same location as the organ loft on audience right, was a paint room. These were the only performance support spaces identified.

Utility Areas: In a basement below the Main Foyer extending 18' under the 'House' floor is the utility area for the entire structure. Heating equipment for the apartments and store fronts is the only operating equipment. A ventilating air tunnel system is below the 'House' floor. In an area below the organ loft on audience left, in the basement, was a motor room.

Appointments: There are some decorative lighting fixtures in the theatre that appear to be the originals. There are also known to be some fixtures and other appointments in the possession of other parties. Replicas can be made from existing fixtures and appointments. In locations where no existing fixtures have been identified, fixtures of the same motif as existing types can be made. Enough of the various ornamental plaster designs remain to produce

molds to construct replicas of all designs required. This is also true of the ornamental iron and other metal work. Only written accounts remain of the furnishings, tapestries, wall and opening draperies, etc. This is also true of original decorative colors in a few locations.

Store Fronts: The two original store front business areas still remain and are occupied. Interior partitions have been added and changes have been made over the years to accommodate various tenant's needs, however the area of each store has remained unchanged. The basements shown on the original drawings were not constructed.

Apartments: The apartments, (eight on each floor) on the second and third floor levels above the Stores, Portico, and Main Lobby still remain and are occupied. They have been renovated; however the basic floor plans remain.

## Codes - Regulations - Standards

### Fire & Building Codes

The building is a fire resistant structure. It has a steel frame with concrete structural floor slabs and a cementitious roof deck. The basic building structure satisfies structural code requirements. Some architectural changes, modifications and additions are necessary to satisfy prevailing fire safety, building, plumbing, heating and electrical codes. Following are some details that will require up-dating and/or new systems to satisfy code requirements. These changes and additions, have been given consideration in cost estimating.

- A second egress from basement dressing area.
- New north exit from stage.
- A second egress from projection booth area.
- Modifications to some fire escape details.
- Revising rear exit way from apartments.
- Fire doors in all required locations.
- Rehabilitation of plaster protecting structural steel.
- Rehabilitate Stage House smoke relief shutters.
- A fire protection system to include standpipes with exterior Fire Department Connections, sprinklers, hose and extinguisher cabinets and devices, smoke and fire detectors with required automatic operations. Install fire alarm system with two control panels. Alarm to be connected to the Fire Department. To provide required fan shut down, etc. features.
- A system of battery operated emergency lighting.
- New fire curtain (non asbestos) for stage.

### Asbestos Regulations

Asbestos content is present in some pipe covering and the existing stage fire curtain. Consideration has been given in the cost estimate for special consultants, testing and removing of the asbestos in accordance with regulatory procedures.

### Energy Standards

Wherever possible the energy efficiency of the building and systems will be improved. Following are some of the possible energy considerations.

The thick masonry wall, with interior furred plaster in many areas, provides a good exterior wall, 0.24 U-Factor, with little infiltration/exfiltration. Should the exterior walls be surfaced with a synthetic finish coat over insulation the thermal efficiency will be greatly improved. This finish also permanently dampproofs the walls reducing maintenance costs over the years. This is the Alternate #2 included in the cost estimate.

Most of the windows are in the apartments. Any replacement windows will be high efficiency thermal windows.

The new roof will be insulated to provide a U-Factor of 0.06.

Metal exterior doors and frames will be insulated. All exterior doors will be equipped, four (4) edges, with quality, all temperature, weatherstripping.

The ventilating system will permit automatic changing of the air in the 'House' after midnight providing outside temperatures and humidity are at proper levels. Many times during a year, especially in spring and autumn, there is a savings in air conditioning costs using this procedure.

While the 'House' lighting and lighting in other public areas, will be on dimmers for control and effect, the dimming will also permit energy conservation during off hours.

These energy efficient features have been provided for in the cost estimate.

#### Accessibility Regulations

The main floor of the theatre, including the stage and the theatre offices, will be updated to meet accessibility standards. One should realize, however, it is not only impractical, but often impossible, to provide accessibility on upper levels in a theatre. In the balcony of this

theatre, the tiered seating required to provide the audience with good sight lines also requires steps and/or risers to reach all seating locations. The possibility of providing accessible wheelchair stations in the balcony does not exist. To provide access to the Mezzanine Foyer would still not permit access to seating. The design intent is to provide all public facilities on the main level that are available in the basement and on the upper levels. Therefore no elevator has been recommended for this theatre.

The building will have the following barrier free features on the main floor and stage levels.

- New barrier free restrooms.
- No steps at street theatre and office entrances.
- A chair lift is provided to the stage level.
- Permanent wheelchair stations to be provided in the 'House' at locations where the floor is level. To satisfy the minimum quota, additional spaces will be available for wheelchair by removing special 2-gang seats designed for quick removal.
- A barrier free dressing room and restroom is provided in the area behind the stage.
- Sound hearing aids can be provided at selected locations.
- Barrier free telephone and drinking facilities to be provided (also for children).

All above features are included in the cost estimate.

## Building Conditions & Recommended Renovation/Restoration

The challenge in the renovation/restoration of vaudeville theatres is to accommodate a wide variety of entertainment, community, business and ancillary activities while preserving the uniqueness and the integrity of the 'House' and the performing stage capabilities. Sensitivity for the original theatrical elements and environmental qualities must be maintained by the Architect as he provides for the expanded functions necessary to maintain an acceptable financial operation. This type of sensitivity is essential in the renovation/restoration of the Kenosha Theatre.

For the past 26 years the 'Kenosha' has not operated as a movie or performing arts theatre. Most of the theatrical systems and equipment has been removed. With a few exceptions, what still remains is inoperative and obsolete. There is more of the mechanical and electrical systems and equipment still remaining. Some of this equipment is inoperative, others have not been used for years therefore their operating capabilities are not known. These determinations will be made by the Architect and Engineer during the schematic and design development stages.

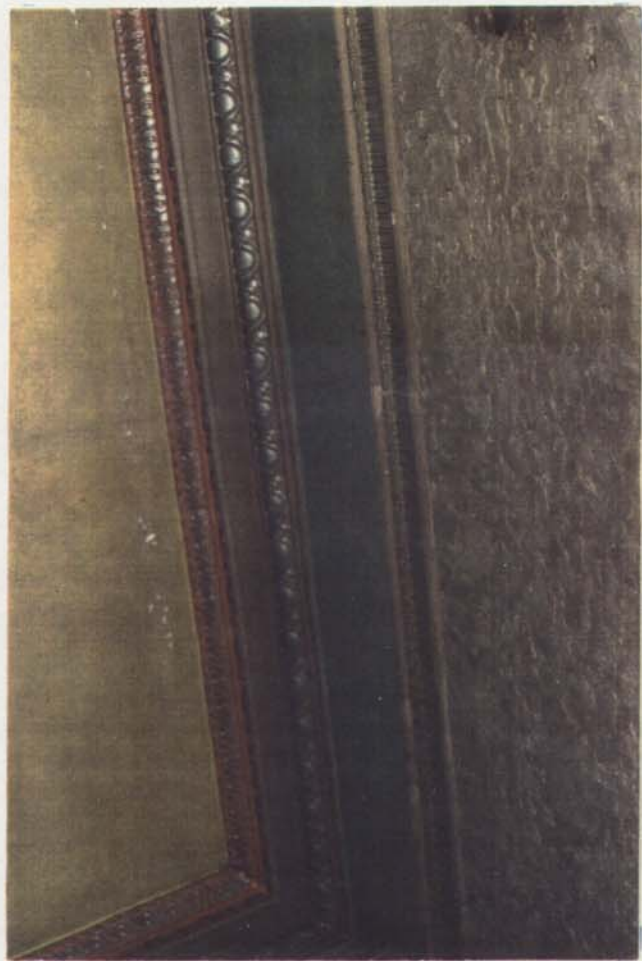
During the past 26 years the building has been used for storage and other miscellaneous activities. There is little evidence of abuse to the architectural features of the building by these activities. However, the building has not been heated in recent years and there has been inadequate maintenance of the building envelope, especially the roof. The leaking roof has caused extensive damage to the plaster surfaces in certain areas. The plaster ceilings have the greater damage. In some ceiling areas the metal support system for the plaster must be replaced. The decorative interior walls in many areas are not plastered directly to the exterior masonry walls. They were either furred out from the walls or constructed independent of the exterior walls. Any moisture penetrating the exterior walls did not reach the decorative plastered walls, therefore many of these wall surfaces are in very good condition considering the circumstances in which they existed. Lack of heat and adequate maintenance of the building envelope, not age, has caused most of the deterioration that now exists. There is no evidence of major damage to the structural systems, except in the area east of the stage where the roof and its support system must be replaced.



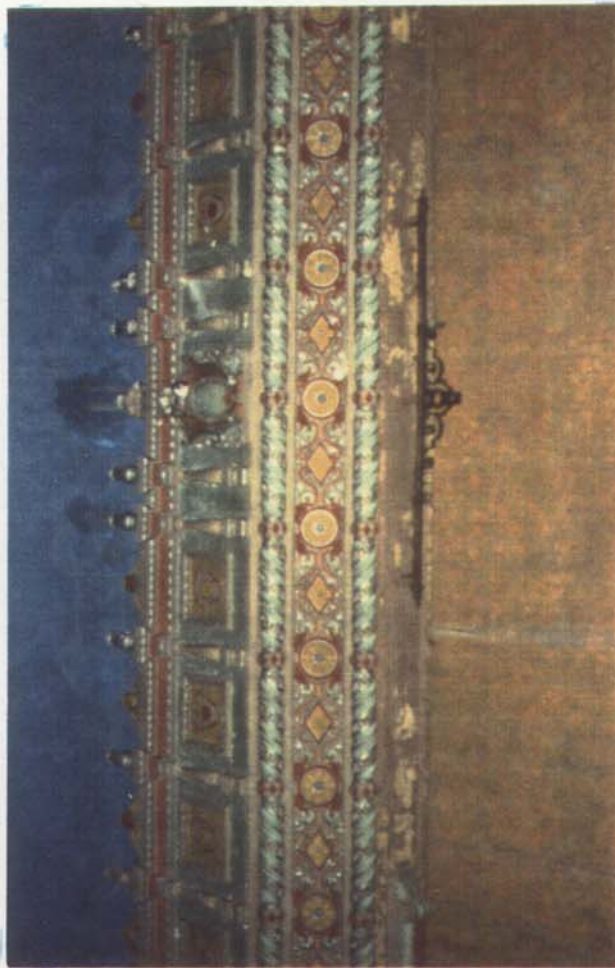
KENOSHA  
THEATRE

DECORATIVE  
PLASTER  
DETAILS

Proscenium  
Opening

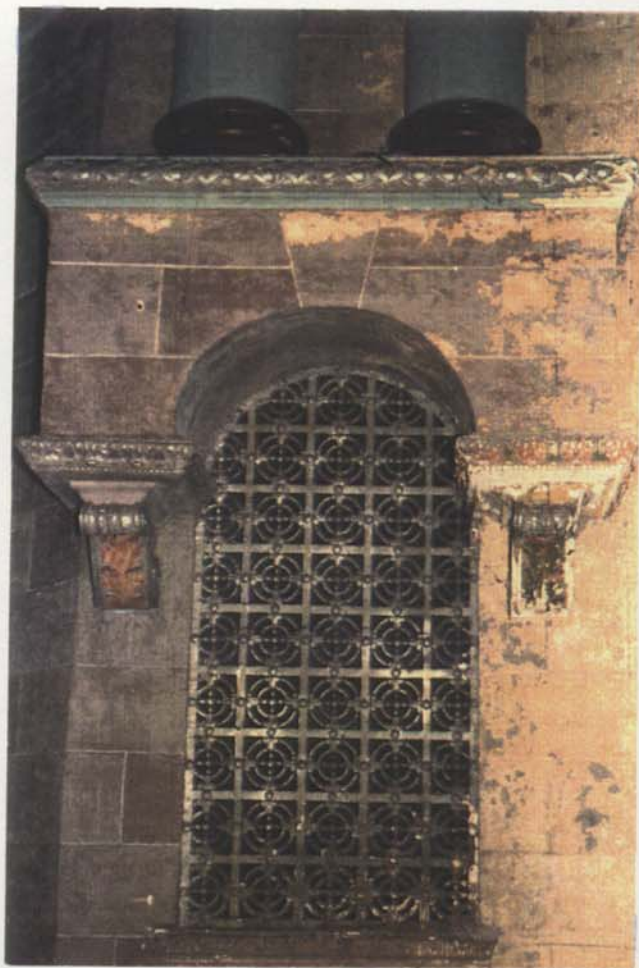


Ceiling  
Cornice



Careful examination of the details in the plaster work has determined that all ornamental features can be restored. It will be possible to make molds from existing ornamental features to duplicate all missing or deteriorated plaster details. This type of plaster restoration is common when restoring theatres and other historic buildings. There still remains a few plaster contractors, with craftsmen and facilities, capable of restoring ornamental plaster work to the original appearance.

Another concern is the original decorative lighting fixtures. Some remain in the theatre or at other known locations. Any existing fixtures can be restored to original appearance. Also, duplicate fixtures can be made where some of that type fixtures are missing. For the few missing fixtures, for which no original fixtures have been located, similar fixtures will have to either be purchased or duplications will have to be made from elevations shown on the original drawings of the Theatre. There are studios who specialize in restoration and creating replicas of lighting fixtures. All existing fixtures to be re-used must be rewired to meet prevailing codes.



Ornamental Plaster & Iron Work



KENOSHA THEATRE

Restoration and creating replicas of the original iron work will be accomplished in a manner similar to the lighting fixtures.

The cost of the above renovation/restoration is included in the cost estimate of the work included in this report.

The location of the elements of the decorative glass panel that was originally installed in the east wall of the Main Foyer is known. To reconstruct this feature panel, either these elements will have to be returned or replicas will have to be made. According to the drawings, there were two decorative glass panels illuminated from the inside of the assembly.

The missing marble drinking fountain and other similar appointments can best be purchased from companies specializing in the purchase and sale of architectural artifacts. Salvage One in Chicago and St. Louis Architectural Art Company in St. Louis are two such companies.

Originally draperies, wall tapestries and other decorative cloth materials were used in the public areas:

the 'House', Foyers and Main Lobby. The extent of restoring these types of decorative features will be governed by code requirements and budget. No funds have been included in the cost estimate for these features.

The years, the lack of operating as a theatre, and the inadequate maintenance has taken their toll, however, the Kenosha Theatre can be renovated/restored to once again provide the community these excellent performing arts facilities. Following is an analysis of the existing condition of the building and the various areas. Included is the renovation/restoration work recommended. Also included are features and suggestions of adaptive use possibilities to provide greater flexibility in activities and operation of the theatre and its other facilities.

#### Building Exterior

The envelope of the building must be made weathertight. Due to leakage, some areas of roof deck must be replaced. Over the area east of the stage supporting structural members must also be replaced. Except those areas having a tile roof, the entire building must be reroofed over adequate insulation to provide an energy efficiency level to meet today's energy

standards. The tile roof will require minor repairs. This work must be accomplished as soon as possible to stop the damaging of additional building elements and features.

The terra cotta work requires some replacement units and complete tuckpointing and cleaning. The brick masonry work requires tuckpointing, cleaning, and dampproofing. Alternate No. 1 would be to surface all brick masonry walls with a trowelled-on synthetic cementitious finish over insulation attached to the masonry wall. This system provides additional thermal resistance for the total exterior wall assembly and also lowers maintenance costs. The appearance would be a sand finish tinted to color and shade desired. The added cost is stated under Alternate No. 2 in the cost estimate.

The exterior doors, except entrance doors to the theatre store fronts and the apartments, are to be replaced with energy efficient metal doors and frames. Windows in the theatre are to be replaced with energy efficient type.

The intent is to restore the west facade (6th Avenue) as originally designed. The following work would be involved. Items marked with an asterisk (\*) are optional until later should it be necessary to reduce initial construction costs.

- Restore (replace if necessary) entrance doors and store fronts with original decorative features (grille work, etc.)
- A new ticket booth, a replica of the original design.
- Restoration of the flagstone floor in the Portico.
- Terra cotta restoration as previously discussed.
- A new marquee; a replica of original design.
- \*- A new vertical sign; a replica of the original design.
- \*- Restoration of windows.
- \*- A security gate to close-off the portico.

Miscellaneous work includes provisions to provide parking area for trucks, etc. for load-in and load-out of the stage door in the rear (east) wall. There are to be provisions for better access to the various roof levels, the repair and partial replacement of fire escapes, and the removal of the temporary metal wall at the main theatre entrance on 6th Avenue.

It is recommended the courtyard between the store fronts and the theatre, south side of property, be closed-in to provide adequate, barrier free public restrooms. This requires revising exterior entrance to utility areas in the basement of the theatre and the second means of exiting from the apartments.

Main Lobby - Main Foyer - Portico

The intent in these areas is to restore the decorative and finish surfaces and appointments to original conditions wherever possible. However, certain additional facilities required in the theatre must be located in the forward (west end) areas of the building. These additions and changes will alter some decorative features.

The required facilities are:

- New public, barrier free, restroom facilities. They are to occupy the enclosed courtyard space. Two entries are required from the Foyer, one on each side of the original location of the marble drinking fountain on the west wall. The entry on the right will be through the opening of the existing door to a small electric panel room. An opening will be made on the left side where a fake door now appears.
- A large opening is to be made in the south wall of the Lobby for access to the concession area and the theatre offices to be located in the store front areas.

The ceilings in these areas require extensive plaster replacement. There are also wall areas requiring some



replacement of plaster. Recent installation of new plumbing lines and electric service conduit for the apartments above required the cutting out of plaster in certain areas of ceilings and walls. Repair and replacement of some ornamental plaster will be required in these areas. The proposed alterations in the lobby, and foyer will require cutting and repair of plaster walls and details.

The portico and lobby has a sloping floor of flagstone trimmed in slate and terrazzo. The floor will require limited replacement of materials, general repairs, and a thorough cleaning and finishing treatment. The foyer has a concrete floor. This area will be carpeted as it was originally. The existing wood base will be restored.

The doors and transom at each end of the lobby are of the same original design. There are six (6) pair of doors in each location. Doors, transom and framing is wood. The restoration of these two entrances will require replacement of some material and possibly some doors. All replacement items are to be replicas of original design.

There is an existing lighting fixture for each fixture design occurring in these areas, therefore replicas can be made. The lighting fixture types were ceiling hung, wall sconces, and aisle lights (designating the aisle numbers).

The decorative glass wall panel between the foyer and the 'House' has been discussed earlier. The intention is to reconstruct this panel. Modification will have to be made to comply with fire separation requirements.

Two grand staircases, one at each end of the foyer, go to the Mezzanine Foyer directly above. They have terrazzo treads, wrought iron and wood railings. They will be restored to the original condition. A coat check room will be located under the south stairs. Public telephones will be located under the north stairs.

#### Mezzanine Foyer

This foyer is more spacious than the Main Foyer because it extends a short distance over the rear of the 'House' seating below.

The intent in this foyer is to restore the decorative and finished surfaces and appointments to their original conditions wherever possible. The only major change is the addition of a concession area behind the curved east wall between the two stairs to the Balcony. The original drawings show a fountain in this semi-circular area. The fountain and the decorative wall behind is shown as tile with hanging draperies on each side of the fountain. There are no indications this fountain was actually constructed. A opening in this wall for the counter is recommended with the actual concession area constructed behind the wall, under the balcony seating. In this way no space is taken from the foyer permitting the entire space to be used for other activities such as meetings, display area for art work, receptions, etc.

Some minor plaster replacements and repairs will be required where the wall opening is made and in other areas where deterioration of the plaster has occurred in the ceiling and the walls.

The floor of this foyer is concrete. It will be carpeted as it was originally. The existing wood base will be restored:

The iron work, ornamental plaster details, lighting fixtures and other original appointments are to be restored. The iron decorative gates at each end of the foyer will be similar to the design shown on the drawings. It may be possible to locate gates of similar design from a company dealing in architectural artifacts as previously mentioned.

Two stairs through the east wall of this foyer leads to the balcony seating. These stairs are to be restored. The treads are terrazzo with handrails of wood and iron. In recent years the steps were carpeted, however the original design indicates no carpeting.

A coat check room is off the south alcove to the men's restrooms. Public telephones and drinking fountains will be located in both the south and north alcoves.

#### Public Restrooms

To provide adequate public restrooms on the main level the courtyard between the theatre and the store fronts, on the south side of the property has been enclosed. Enclosing this area has resulted in the relocations of two secondary entrance/exits. Access to the utility areas in the basement has been relocated in the south-

west corner of the area with new, enclosed, concrete stairs. The second means of exit from the apartments has been relocated in the southeast corner of the original south store front. An exit corridor is to be constructed along the rear walls of the store fronts to connect the exit with the original stairs.

On the mezzanine level, the original restrooms are to be renovated. They are located off the alcoves at each end of the Mezzanine Foyer. The women's area will have a small lounge; the men's a small entry.

The combination of these facilities will exceed the code minimum requirements. This is necessary to satisfy the demand during intermissions.

Walls and floors of the public restrooms will be tile; ceilings will be suspended plaster, painted. Lavatories to be installed in counters with mirrors and all other normal accessories. The main level restrooms will be barrier free meeting required prevailing standards. The restrooms on the mezzanine level will not be barrier free.

Concession Area

During many types of performances and miscellaneous activities, refreshments are expected. For receptions, luncheon meetings, etc. concession and/or catering facilities are required. Properly promoted and managed they can be an important source of income.

Both concession facilities have been purposely located in areas adjacent to a foyer and a lobby so that the permanent facilities do not infringe on the effective space in these public areas. Both concessions will be equipped with necessary appliances, apparatus, cabinet storage, counters, cash drawers, display area, etc. Counter tops to be plastic laminate surface. Floor, wall and ceiling finishes to be coordinated with the decorating scheme for the adjacent public area.

Administration Offices & Sales

The two store fronts are to be renovated to provide areas for concessions, administrative offices and possibly sales. Except for the two existing stairwells, all partitions and ceilings (except for the original ceilings) are to be removed. Windows, doors and frames in the rear (east) wall are to be removed. A fire-rated exit corridor is to be constructed as

shown on the First Floor Plan - Revised with a door exiting to the outside at the south end. A rear exit for the office area is also to be installed in the rear wall, southeast corner of the area.

The Concessions will occupy space on the north side of the existing store front area. An option to provide space for a retail candy store, by expanding the area to the front (west) wall, is a possibility. The proprietor of the candy store would also have the contract for the concessions and possibly for catering. This could provide the theatre with additional income and relieve the theatre administrative staff of all the details involved in these services. This will be a management decision to be made at a later date.

The remaining area will be dedicated for theatre offices, board room, and storage. There will be provisions for advance ticket sales. Walls and ceilings will be gypsum board, painted. Floors will be vinyl tile. The store fronts will be restored as discussed under exterior work.

The original ceilings in the store front were 16 feet high. Floor to floor in the area is approximately 18½ feet. If necessary, the rear part of this area could have a Mezzanine Level to provide additional office, storage or meeting space.

The final design and allocation of space for the store front area will take place during the schematic and design development phase of the project. Reasonable cost allowances for demolition, partitions, ceilings, finishes, etc. have been included in the cost estimate.

'The House'

The intent in this area is to restore the decorative and finish surfaces and appointments to original conditions wherever possible. There are no major changes recommended on the original design of this area. The 'House' will be barrier free.

There has been extensive damage to the plaster ceiling in a number of areas due to leaks in the roof. In these areas all existing plaster affected must be removed and the ceiling areas reconstructed. Some of the metal support system will require replacing, however observations indicate this will not be necessary



in most of the affected areas. To a lesser extent, there are damaged plaster wall areas requiring reconstruction. All plaster will be examined, repaired, cleaned and decorated. Some areas will require only cleaning and decorating. All work will be accomplished from scaffolding, tiered from floor to ceiling. Holes will be provided in the ceiling and the blinking lights (stars) will be restored. When completed, the plaster walls of the 'Castle' will have been restored.

The concrete floors and tiered areas of the balcony will be repaired and painted. The repairs are required because of the removal of the seats. The aisles in both the orchestra and balcony will be carpeted, as will be steps and risers.

The entire 'House' will have new seating with padded seats and backs. Seats will be self-rising, and located in the same arrangement as the original seating. There will be scattered spaces, where the floor is level, for wheelchairs. The house lighting systems will be similar to the original systems. The new systems will reproduce, as closely as possible, the original lighting effects. Aisle lighting will be a combination of floor tracer lights and end standard mounted lights.

A wood railing, with curtain, will be installed around the Orchestra Pit. Electrical outlets will be installed in the pit for music stands and to service the extended stage area. The walls below the railing height will be painted a dark, deep tone.

A dividing curtain is recommended behind the first row of seats on the first cross aisle on the Orchestra Level. See First Floor Plan-Revised. When drawn, the seating capacity on this level will be reduced to approximately 800. The balcony seating will not be affected. The curtains would not extend into the aisles. By this method, stage performances, conferences meetings, etc. expecting a smaller attendance can play to an assembled rather than a scattered audience. By reducing to the 800 capacity and using the Lower Balcony seating you would have a 'House' of approximately 1,050. This flexibility to be able to provide the best environment for various size audiences is important to both the performers and the patrons.

#### Historic Decorating

The areas designated for historic decorating are the Portico (including Ticket Booth), Main Lobby, Main Foyer, Mezzanine Foyer, Ladies Lounge, the 'House', and stairs to the Mezzanine

and balcony levels. Other small transition areas may be included.

Prior to decorating, all plaster (including ornamental) work and all other surfaces will have been repaired, replaced, etc. and in condition to be finished.

The areas will be scaffolded from floor to working distance of the ceiling, with tiered working platforms along the walls to permit decorating of all surfaces. Scaffolding will be in place approximately six months.

The decorating work process will be as follows.

- Determining original color schemes.
- Establishing the color and texture scheme for the total decorating of these areas.
- Removal of all loose plaster, paint etc.
- Clean all areas and surfaces to eliminate dirt and dust.
- Wash and clean all surfaces to be decorated.
- Final removal of all loose paint, plaster, etc.
- Final restoration of surfaces, patching, pointing, sanding, etc., including underlayments where necessary.
- Decoration of all surfaces; priming, glazing, highlighting, painting, gilding and burnishing.
- Final touch-up and dusting of all surfaces just prior to dismantling of scaffolding.
- Final touch-up when the work of all other contractors is completed.

The historic decorating is not to be considered merely a paint job. It is the revitalizing of an environment existing on that opening night in 1927. For this reason, this work is recommended to be accomplished under a separate contract with a studio having the capabilities to provide the desired decorative aesthetics.

### The Stage

The depth of the stage, 24 feet, is shallow. Without great cost there is no practical way to increase the depth. Both off-stage areas are 19 feet wide which is also considered shallow. To provide addition(s) to the building on either side would not only be expensive but would also require acquisition of additional property. It is not uncommon for a vaudeville stage to have shallow depth and wings. When the space limitations are considered in the design of staging and with strict stage management, the effect of these limitations on performances can be minimized.

The footlights are to be removed as is the wood stage flooring and sleepers. The new stage floor will be hardwood on-stage and fir off-stage. Floor pockets for stage receptacles and rigging will be restored. A portable stage extension will be provided over the orchestra pit. When in place, the stage will extend into the 'House' 12 feet beyond the proscenium wall.

The stage will be barrier free. A wheelchair lift will be installed in the alcove on stage-left to provide access to the stage level. A dressing room with full facilities will be located in the area directly behind the stage.

Concrete steps and a fire rated door will be constructed in the alcove on stage right to provide access and exiting on that side of the stage.

The stage gridiron will require minor repairs. A cage guard will be installed on the two ladders to the gridiron to meet OSHA Safety and Health Standards. Steel guard rails will also be installed along all open edges of the gridiron.

The stage loading door, rear (east) wall of the building will be replaced with an energy efficient steel door assembly.

#### Stage Rigging & Curtain System

This system will be entirely new except the head block assembly beams and the loft block beams.

The rigging system to be a T-Bar, counterbalance type with locking rail along the wall on stage right. The lockrail will be equipped with a power loading winch, a safety measure. There will be 24 battens plus the main curtain track support system and the fire curtain assembly. Four of the battens

will be 'electrics' for stage and work lights. The horizontal dividing main curtain will be fabricated with sound transmitting material, with matching valance. The curtain will be manually operated. The fire curtain will have an automatic release system with alternate manual release and all safety measures required by prevailing codes.

A complete set of stage curtains will include borders, teasers, legs, black background and a sky cyclorama.

#### Theatrical Lighting System

This system will consist of stage border lights, sidelights, front of house lights and follow spots. Instruments for the border lights will be mounted on the four 'electrics' permitting pre-setting and focusing from stage. The side-light instruments will be mounted on two steel pipe ladders, one on each side of the 'House'. The two follow spots will be operated from platforms on each side of the Upper Balcony.

The long rectangular shape of the 'House' and the rather low level of the front of the balcony does not provide a ready-made location for mounting front of 'House' lighting instrument. To position the instrument in optimum height and angle positions to the stage they will be mounted on a winch operated light bridge suspended from the ceiling above the balcony. Prior to a performance, the bridge will

be lowered to a position approximately one foot above the seating. Instruments can be pre-set and focused at this level or from the desired performance operating position by a technician riding on the bridge. During the performance there will be no one on the bridge. The bridge will be automatically lowered from the ceiling to the pre-set position. At the end of the performance, or during intermissions if desired, the bridge is returned to a storage position recessed in the ceiling. The bridge needs to be in the operating position only during the performance, when the 'House' is dark, and therefore does not disturb the aesthetics of the decorated 'House' when the house lights are 'up'.

A complete solid state lighting control system will control all theatrical lighting and general lighting in the 'House', Foyers, Main Lobby and the Portico. Dimmer banks are to be located in the old organ loft on stage right. A master control console is to be located in the Projection Booth area with an auxiliary control station on stage right. An auxiliary entrance control station for the 'House', Foyers, Main Lobby and Portico general lighting is to be located in the office area.

#### Sound System

The auditorium will have a quality 'center cluster' style P.A. system that will be used for theatrical and speaking presentations.

Because of the depth of the auditorium and the height of the proscenium, the center cluster will have to be reinforced with other satellite speaker enclosures hidden in the ceiling or walls under the balcony to get total audio coverage.

Because of the expense of staying current with the fast paced state of the art sound industry for musical presentation, the auditorium should be equipped only with the power handling capabilities of sub-contracted, per event sound systems. This would relieve the theatre operation the headache and expense of maintaining a system that would have to be under constant evolution to meet the specifications of the current entertainment contract riders.

The sound reinforcing system is to include the following basic equipment and all ancillary equipment and accessories.

- A 32 input mixing console with four (4) sub-groups.
- Full frequency speaker enclosures to cover the open area of the orchestra floor and the balcony, supplemented with recessed speakers under the balcony.
- Four (4) power amplifiers in conjunction with electronic frequency dividers.
- The system will have digital delays and graphic equalizers to tune the room acoustically.
- A minimum of four (4) stage monitors to be located in the final analysis and design of the system.
- Microphones as required by the system.

Location(s) of the position(s) of the sound mixing board will be established in the final analysis and design of



the system. There will be provisions for microphone jacks throughout the theatre.

The system is to include an intercom/call system with emergency performance cut-off.

#### Dressing Facilities and Green Areas

In the basement it is proposed to create additional dressing facilities by excavating the crawl space to the rear of the original dressing area to provide a finish floor at the same level as the existing floor. To provide more adequate toilet/shower rooms, these facilities are relocated to the newly created area. The remainder of the space in this area is used to more than double the size of the one dressing room. Another dressing room occupies the area of the original toilet rooms.

Only three (3) single dressing rooms remain in the basement. The other three (3) dressing areas are larger. The capacities of these dressing rooms vary from 11 to 20 performers at any one time.

As pointed out before, a barrier free dressing room with all facilities is located on stage level behind the stage.

At each end of the basement area are the much desired Green Areas.

A required second means of exiting from the basement has been added in the north end.

All ceilings in the basement are either exposed concrete or suspended plaster, painted. Floors in the toilet/shower areas are tile with tile base. Floors in other areas are vinyl tile. New walls are gypsum drywall on metal lath. Existing masonry walls are to be rehabilitated as finish walls if possible; if not they are to be furred gypsum drywall. Toilet/shower area walls are to have epoxy finish. All other wall areas to be painted.

The short hall leading to the orchestra pit shall be treated as a light lock area to minimize light entering a darkened 'House' from the basement. All surfaces are to be painted dull black and doors are to be equipped with light seals.

#### Performance Support Areas

The addition of dressing space in the basement permits a costume storage and stage storage/workshop in the area behind the stage. The ceilings in these areas will be suspended gypsum wallboard painted. Existing masonry walls will be rehabilitated and painted.

### Stairs

The stairs from the basement to stage level will be enclosed with fire rated walls and doors.

### Alternate No. 2

The area to the rear of the stage will have a roof height (new roof to be constructed at same height as the original roof) which makes it possible to construct a second floor level. It would be necessary to extend the stairs. The new floor construction would be steel joists with a light-weight concrete floor slab.

This area would provide greater space for costume and small prop storage leaving much needed additional workshop space on stage level. The added floor would reduce the ceiling height to 8 feet. The higher ceiling would provide some advantages in a workshop area. Budget permitting, the decision on the use of this space will be made during design development. There are various possibilities for utilizing this backstage area.

### Projection Booth Areas

No projection equipment has been included in the project costs projections. However, the projection booth should remain intact to provide projection capabilities for future development.

The master control console for the theatrical lighting system is to operate from the projection booth. It is a good location because there are unobstructed sight lines to observe the lighting results on the stage and in the upper 'House'. Room temperature and moisture levels can be controlled and good security can be maintained.

Sound equipment space is also designated with even limited rental space should the theatre also be used as a sound studio when scheduling permits.

The area is also suitable for an equipment workshop and storage because it can be secured and have controlled temperature and moisture.

#### Building Systems

The Estimated Scope of Work following this section has descriptions of the following systems in the Outline Specification and the itemized Estimated Project Cost.

- Plumbing System
- Fire & Sprinkler Protection System
- Heating, Ventilating & Air Conditioning Systems
- Building Electrical System
- Fire Alarm System
- Telephone System

Most of the work in these systems will be new. Some piping, conduit and equipment that is still in use may be re-used. The extent of materials and equipment to be re-used will be determined during the design development phase.

### Conclusion

- The Kenosha Theatre can be restored to its original splendor.
- Existing code and regulation requirements can be satisfied.
- Damage or missing decorative features, plaster, lighting, ironwork, woodwork, and glasswork can be restored or replicated.
- Most of the space problems can be improved on.
- The theatre is to be equipped with state-of-the-art performance support technology to provide a wide, diversified range of theatrical affects.
- Patrons will be provided with comfortable, exciting theatre environment.
- The theatre will have provisions to provide flexible seating capacities for various types and sizes of audiences.
- The Kenosha Theatre restored will be as elegant and as well equipped as any of the restored theatres in Milwaukee and Metropolitan Chicago areas.

Square Footage of Areas: The Kenosha Theatre building has a total gross area of 48,442 sq.ft. The theatre proper consist of a partial basement, a first (orchestra) floor level, a mezzanine floor level, and a balcony. The store/apartment part of the building has the street level, a second and a third floor level. Following are the square footage of the identified areas. For dressing areas, apartments, restrooms, etc., the areas are total for the grouping including wall thicknesses but not the corridors or stairwells. For areas singly identified; Lobby, Foyer, 'House', etc. the areas are net.

Gross Areas:	Original Renovated	Renovated Building
Basement	6,614	7,370
Orchestra Level	20,680	21,440
Mezzanine Level	8,993	10,107
Balcony Level	12,155	12,155
Total Gross Area-Building	48,442 Sq.Ft.	51,072 Sq.Ft.

Net Areas:	Original Building	Renovated Building
<u>Basement</u>		
Dressing Area	949	1,340
Toilet/Shower	200	416
Green Area	0	432
*P.S. Area	348	0
Storage	298	446
Utility Area	3,306	3,306
Sub Total	5,101Sq.Ft.	5,940 Sq.Ft.

\*Performance Support Areas - Areas for activities which support stage productions. Includes areas such as work-shops, prop and costume storage, etc.

<u>First (Orchestra) Level</u>	Original Building	Renovated Building
Ticket Booth (in Portico)	20	20
Main Lobby	1,598	1,598
Main Foyer	1,745	1,745
Public Restrooms (2)	0	630
The 'House'	8,358	8,358
Orchestra Pit	322	322
Stage	2,041	2,041
Dressing Areas	232	80
Toilet/Shower	64	40
*P.S. Areas	227	481
Coat Room	0	40
Store Fronts (2)	2,114	2,114
	<u>16,721</u> Sq.Ft.	<u>17,469</u> Sq.Ft.

<u>Mezzanine Level</u>	Original Building	Renovated Building
Foyer	1,903	1,903
Public Restrooms (2)	516	516
Coats	140	140
Concessions	0	220
2nd Level-Apartments	3,801	3,801
	<u>6,360</u> Sq.Ft.	<u>6,580</u> Sq.Ft.

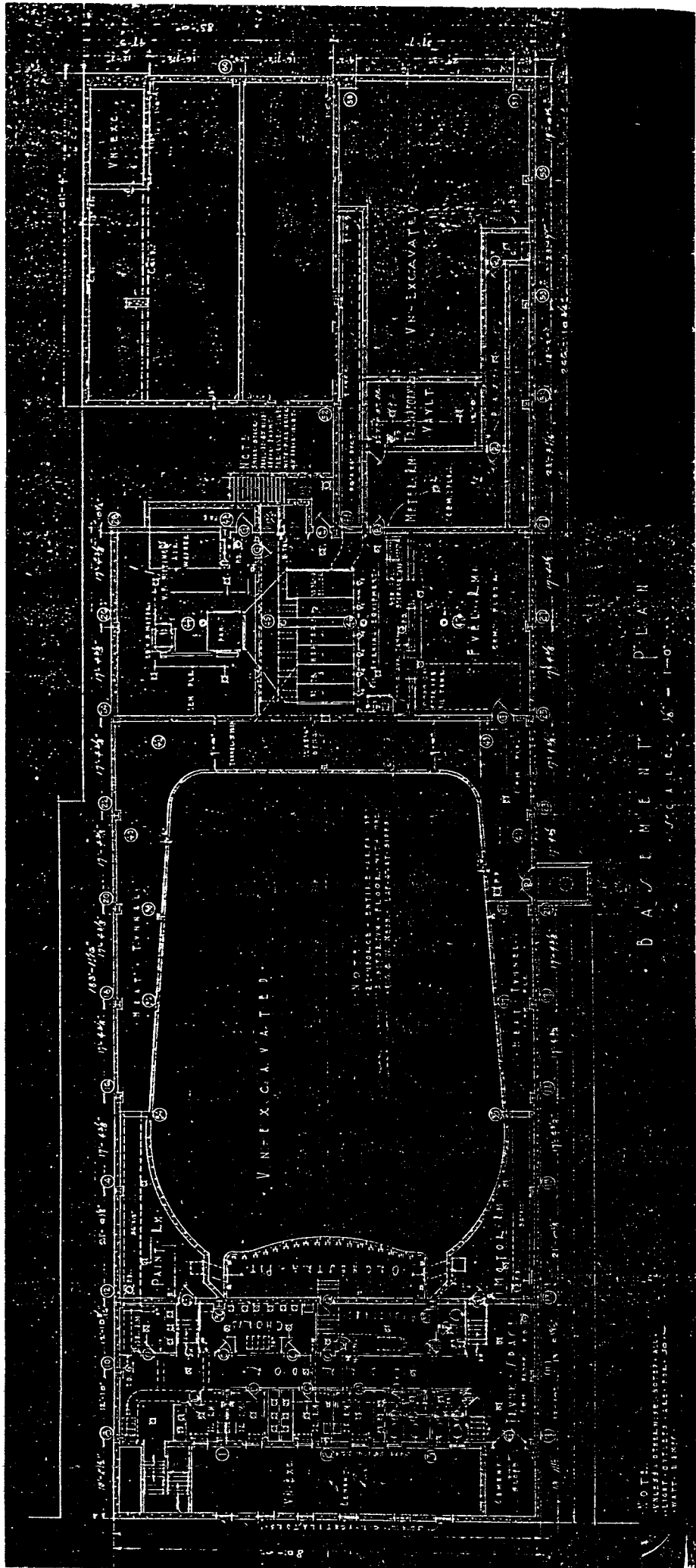
Alternate #2

Dressing w/Toilet & Showers (2)	0	160
*P.S. Area	0	450
Storage	0	60
	<u>6,360</u> Sq.Ft.	<u>7,250</u> Sq.Ft.

\*Performance Support Areas - Areas for activities which support stage productions. Includes areas such as work-shops, prop and costume storage, etc.

<u>Balcony Level</u>	Original Building	Renovated Building
The 'House'	5,180	5,180
Boxes (4)	192	192
Projection Booth Areas	480	360
Ushers	185	0
Toilets (2)	55	25
Equipment Room	300	300
Sound Rental	0	245
Storage	30	120
3rd Level-Apartments	3,801	3,801
Stage Gridiron	1,014	1,014
	<hr/>	<hr/>
	11,237 Sq.Ft.	11,237 Sq.Ft.
 TOTAL NET AREAS	 39,419 Sq.Ft.	 41,896 Sq.Ft.
	Alternate #2 (-)	<hr/> 670
Total Net Area w/o Alternate #2		41,226 Sq.Ft.

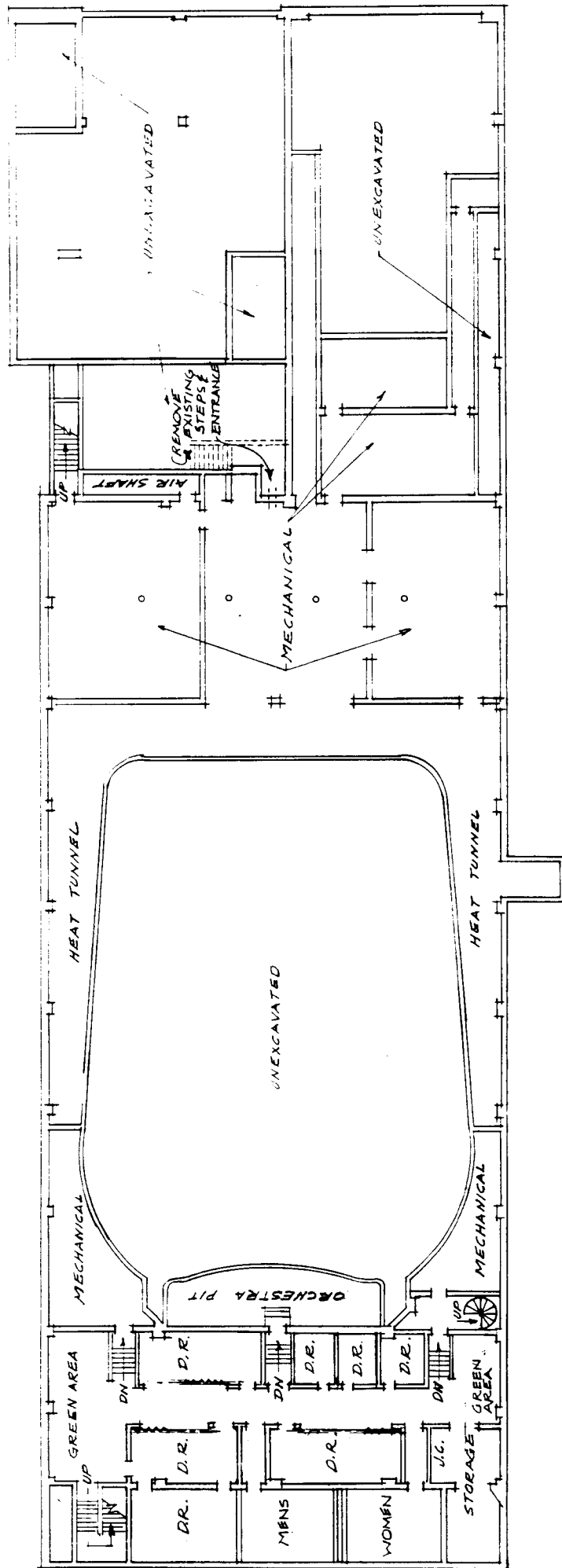




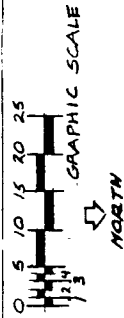
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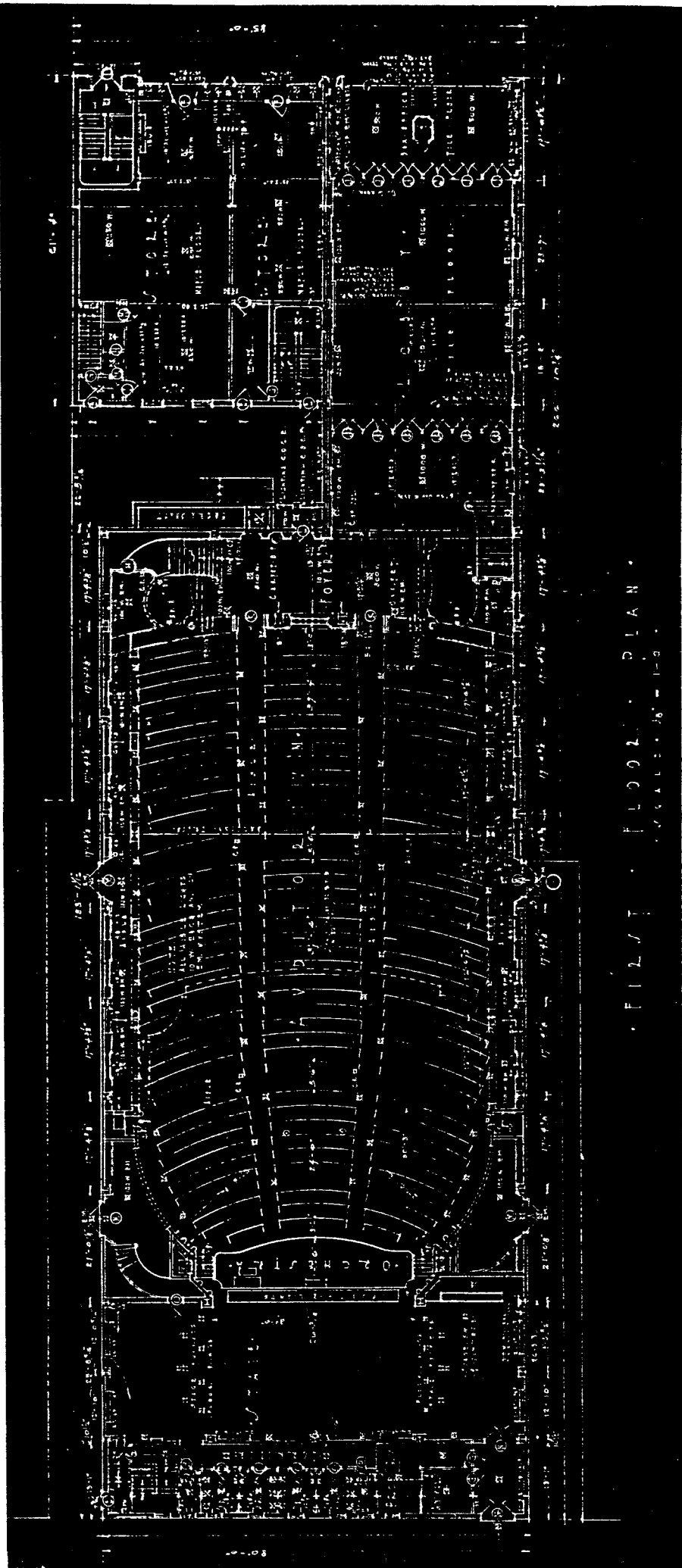
SCALE: 1/8" = 1'-0"

NOTE:  
 UNLESS OTHERWISE SPECIFIED, ALL  
 DIMENSIONS ARE IN FEET AND INCHES.  
 UNLESS OTHERWISE SPECIFIED, ALL  
 WALLS ARE 12" THICK.



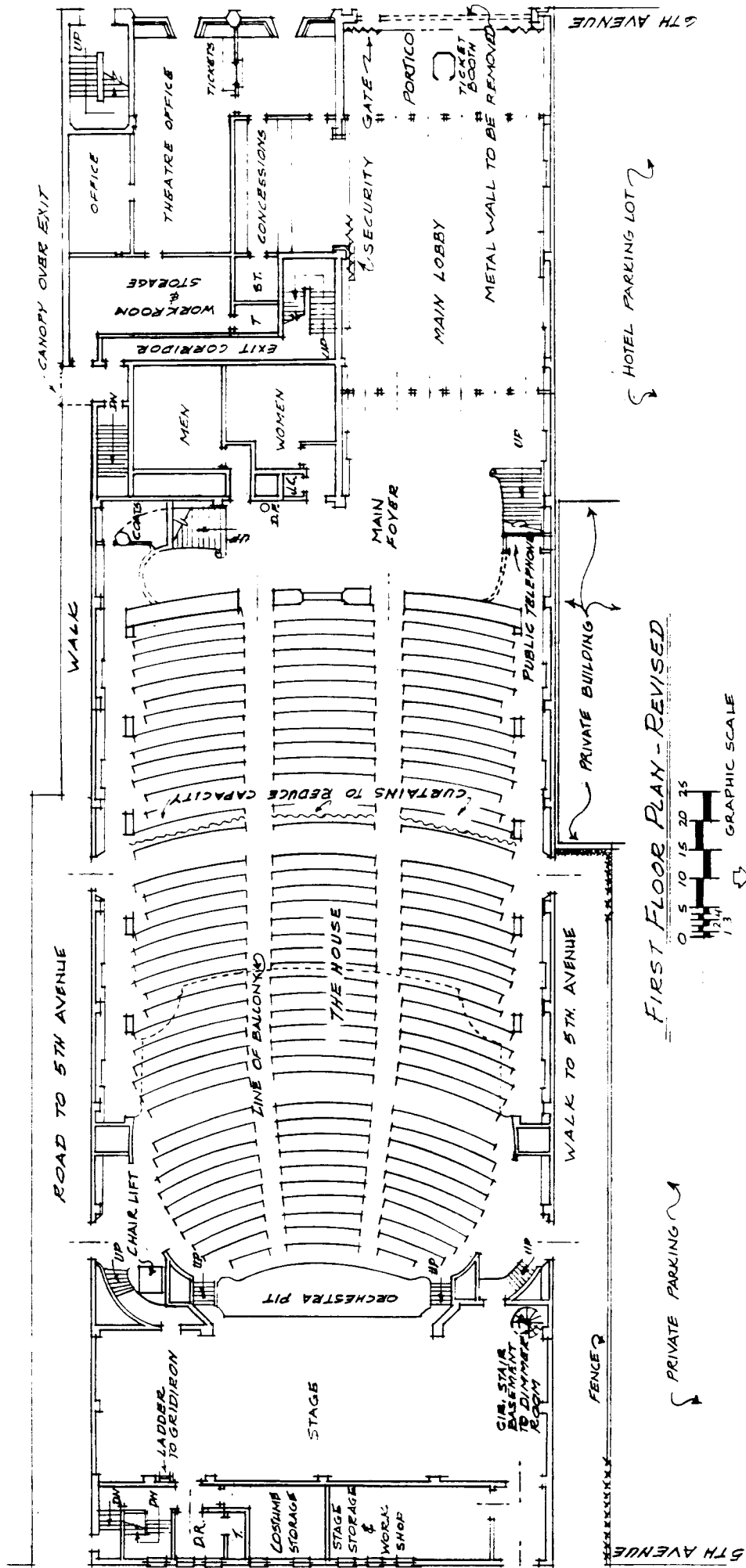
BASEMENT PLAN - REVISED





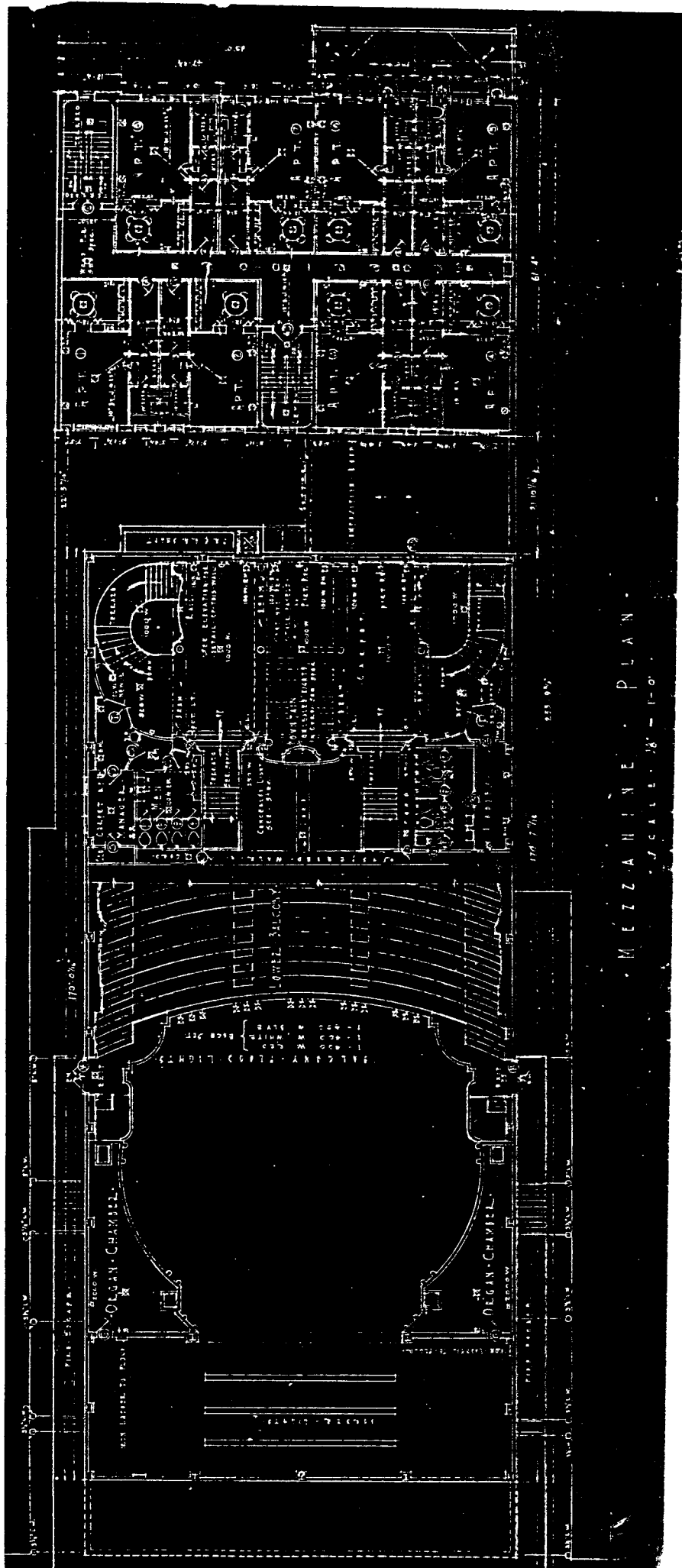
FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN - REVISED





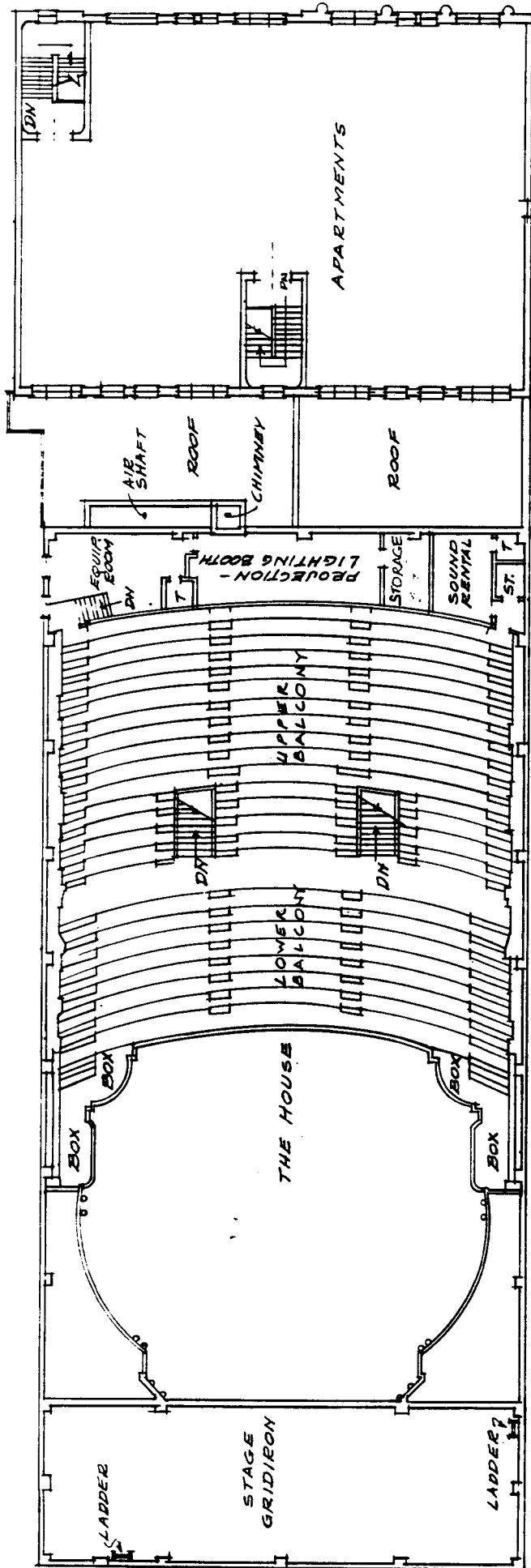
MEZZAINE PLAN  
SCALE 1/8" = 1'-0"



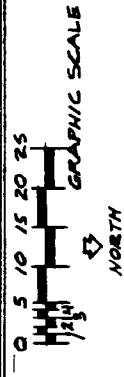


BALCONY PLAN

SCALE: 1/8" = 1'-0"



BALCONY FLOOR PLAN - REVISED





ESTIMATED SCOPE OF WORK

Outline Specifications

General Conditions

1. Insurance, Bond, Permits.
2. General requirements of the Contracts - Project Manual No. 1.
3. General Contractor's supervision and work coordination.
4. Overheads and Profits.
5. Scaffolding - Interior and Exterior.
6. Testing - Asbestos investigation and testing - Miscellaneous field and product testing.
7. Construction utilities.
8. Winter heat.

Exterior Work

1. Replace public walks and street curbs along 5th and 6th Avenues.
2. Asphalt surfaced, stone base, road south side of building and walks both north and south sides.
3. Part of the west facades and the wall copings are terra cotta. All other exterior masonry is brick.
  - Tuckpoint (rake and point all joints), repair (replace damaged bricks), and clean brickwork.
  - Restore (replace damaged pieces, tuckpoint and clean) all terra cotta work.
  - Replace all damaged terra cotta coping units (Approximately 20%).
  - Apply two coats of dampproofing on all exterior masonry surfaces and caulk all joints.
4. Tile roof, west facade - Replace damaged units and secure any other loose units.

Exterior Work Continued

5. All other existing roofs are built-up type. Remove all roofing material to roof deck. Install 3" polyisocyanurate insulation (two 1½" layers with joints staggered and roof with Carlise 'Sure-Seal' Membrane System. All flashing to be membrane including back of all parapet walls, up and under copings after masonry has been tuckpointed.
6. Replace 6" steel roof joists over area behind stage. Install steel deck plus insulation and roofing as specified in Paragraph 5 above.
7. Existing roof deck in other areas is a cementitious material. Estimated 20% of the remaining roof deck will require replacement with similar type of cementitious material.
8. Replace all metal gutters and downspouts.
9. New construction between apartments (south end) and theatre.
  - Roof: Steel joist with insulation and roofing as in Paragraph 5 above.
  - South exterior wall 12" masonry (4" brick, 8" block).
  - Gutter and downspout along south side, to sewer.
10. Restore and paint foundation ventilators on east facade.
11. The intent is to restore the west facade to the original historical design.
  - Doors, store fronts, framing and glass entrances in the west facade to be wood and deep bronze finished aluminum, architectural quality.
  - Replace windows in west facade, apartments, with new wood ones.
  - Marquee and vertical sign: To be replicas of original ones.
12. All other exterior doors and frames shall be replaced with steel, insulated type.
13. Other windows in the theatre are to be replaced with quality metal energy efficient windows. East apartment windows are to remain except those on the ground level to be removed and openings blocked-up.

### Exterior Work Continued

14. Repair and replace fire escapes as required.
15. Install three (3) roof hatches and steel wall ladders for roof access.
16. Restore smoke relief penthouse and the smoke relief ventilators on the Stage House roof.
17. Paint all ferrous metal and wood.
18. Remove temporary metal wall existing at edge of public walk on 6th Avenue which encloses the Portico.

### Interior Work

1. There is no interior work in the second and third floor apartment areas.
2. New construction between apartments (south end) and theatre is to be closed in at the first (ground) floor level to provide barrier free Restrooms for men and women. Interior walls (existing exterior walls) and new south exterior masonry walls are to be furred with metal lath and plastered. All walls and floors to be finished ceramic tile. Ceilings to be plastered, suspended.
3. Interior Demolition: There is no demolition in the apartments.
  - Remove existing asbestos pipe covering in the basement areas and the walk-through tunnels. Also remove existing stage fire curtain, has asbestos content.
  - Remove all non-masonry walls, doors and ceilings in the areas below the stage and behind (to the east of) the stage.
  - Remove separating partition between two street front stores and all other interior partitions in the two areas.
  - Open east plaster wall behind fountain in the Mezzanine Foyer for concession counter.
  - Remove and dispose of all of the following unless otherwise directed by the Architect:
    - Plumbing fixtures - carpeting - stage flooring and sleepers - stage footlights - remaining rigging - all debris and abandoned equipment.
    - Wood doors as directed by the Architect.

### Interior Work Continued

- Remove steel exterior doors and frames.
- Remove approximately 12" thick concrete floor in existing small electrical room which is to be used as entry to new Women's Restroom.
- Remove section of south wall of Main Lobby to provide entrance to Concession Area.
- Remove existing windows in basement wall separating dressing area from crawl space.
- Excavate crawl space to east of dressing rooms in basement and provide access as required through existing wall.

#### 4. Concrete Work.

- Open a trench in concrete floor of auditorium for 6" conduit from basement to sound control station. Embed conduits and termination junction box in concrete.
- Install 4" concrete, with membrane vapor barrier, over existing concrete floor slabs in following areas: Dressing area below stage and all basement areas labeled Mechanical (exclude tunnels).
- Repair all concrete stairs.
- Repair holes in auditorium floors (Main and Balcony levels) where seats were removed.
- Provide 4" concrete floor with membrane vapor barrier in converted crawl space area.
- Lower floor of Orchestra Pit 18". Install new 4" concrete floor over 6" of sand with vapor barrier.
- Provide concrete foundation walls for Restroom addition. Install new concrete stairs to basement level. Install 4" concrete floor slab over 6" sand fill with vapor barrier for new restroom area. Fill existing area well with sand.
- Provide 6" thick concrete platforms at exit doors along south and north sides of the building.
- Provide new concrete stairs from stage on north side by exit door.
- Provide 2½" lightweight concrete fill over corrugated steel for new floor in Mezzanine Concession Area.
- Repair concrete floors where existing wall, etc. are removed.

### Concrete Work Continued

- Clean and rehabilitate exterior and interior masonry walls (concrete and tile) in dressing area below stage including those in converted crawl space.

#### 5. Masonry Work

- Close miscellaneous openings in masonry walls where doors, windows and other miscellaneous items are to be removed.
- Repair and dress-up all new openings through masonry walls.
- Marble on new Ticket Booth - original design.
- Clean and tuckpoint masonry walls in both Organ Lofts, all rooms on the Projection Booth level, and other exposed masonry walls in occupied areas.

#### 6. Metal Work

- New wrought iron railings on stairs from both sides of stage to auditorium exit alcoves.
- Pipe handrails both sides of all non-public stairs and steps.
- Steel circular stairs from basement to Organ Loft on stage right.
- Steel ladders with OSHA cages from stage to gridiron on stage left rear wall and from stage right Organ Loft to gridiron.
- Ornamental iron handrails at steps each side of stage.
- Include \$8,000 for adjustment or additional head block and loft beams.
- New iron pipe railing along south edge of gridiron.
- New metal entrance canopy at new door from basement.
- Ticket cage in theatre office to be glass with wrought iron framing.
- Rehabilitate port hole shutters, Projection Booth and adjacent room to the south.
- Folding architectural metal gate to secure Concession Area from Main Lobby.

### Metal Work Continued

- Folding architectural metal gate to secure Portico from public walk, 6th Avenue entrance.
- Structural reinforcement of floors of both Organ Lofts for installation of electrical equipment.
- Steel straps with bottom spacers supported from structural steel roof members above Auditorium to support wood plank catwalks to service auditorium ceiling lighting fixtures. Light bridge may be recessed in ceiling and would also require access.
- Rehabilitation of metal suspended walkways behind new Concession Area, Mezzanine Foyer. Add guard rails.
- Rehabilitation and polishing of all railings in the balcony.
- New ornamental iron gates at entrances to the south and north Restroom areas Mezzanine Foyer.
- Light bridge for Front of House stage lighting.
- Rehabilitation of ornamental iron stair railings and wood hand rail to Mezzanine level.
- Provide 6 ft. chain link fence, east end of north property line.

### 7. Wood and Plastic

- New stage sleepers and flooring - hard maple.
- New ornamental wrought iron and wood railing around Orchestra Pit.
- Shelving and counters; formica surfaced, for all Restrooms, Dressing Rooms, Concession's counters and back bars.
- Ticket counter and cabinet in theatre office.
- New Ticket Booth at main entrance, replica of original design.
- Shelving for Janitor and other storage areas.
- Wood frame stained glass window panel between main foyer and Auditorium to be replica of original.
- New wood windows where identified in Exterior Work.
- Wood planking for catwalks above auditorium ceiling.

## 8. Interior Partitions

- All new and replacement interior partitions to be steel studs with 5/8" firecode gypsum board on both sides, all joints taped. Fire rated partitions to have two 5/8" layers each side. Use moisture resistant board in basement areas. The following areas require fire ratings: stairwells, dressing area corridor, north wall separating Work Shop from stage, walls separating Office/Concession Areas from Lobby and exit corridor from apartments to east of the theatre office.

## 9. Plaster Work

- All rehabilitation and replacement plaster work required in 'The House' (Main and Balcony levels), Main Lobby, Main Foyer street level, Mezzanine Foyer, and the Portico at the 6th Avenue entrance to be by plaster contractor experienced in the art of ornamental plastering.
- This estimate is to include all other new and rehabilitation metal lath and plaster work in the remaining areas.
- All new ceilings in dressing areas below stage, storage and stairwells behind stage, two Organ Lofts, two new Restrooms, two concession areas, Theatre Office areas, and all other new miscellaneous areas are to be lath and plaster.
- Replace/patch all deteriorated plaster in the remaining areas.
- East wall of Concessions, Mezzanine level, to be lath and plaster.
- Seal-off both Organ Lofts from Auditorium with steel stud, metal lath and plaster.

## 10. Doors and Frames

- All interior doors and frames are to be replaced except where restoration of existing doors are required by the Architect. In public areas, hardwood architectural grade, solid core doors with Grade A surfaces all six (6) sides. Wood frames and trim to be same wood species as doors.
- All doors and frames in non-public areas to be steel, 16-gauge frames, 18-gauge doors.

### Doors & Frames Continued

- See Exterior Work for exterior doors.
- All hardware, (Exterior and Interior) to be heavy duty, architectural styling as follows:
  - Locks, mortise, keyed individually, mastered and grandmastered, Corbin quality.
  - Panic hardware, Von Duprin quality.
  - Door Closures, surface, LCN quality.
  - Hinges, full mortise, Hager quality.
  - Miscellaneous, Glen Johnson quality.
- All exterior doors to have weatherstripped astragals, cast iron thresholds, jambs and head weatherstripping.

### 11. Tile Work

- Main Lobby and adjacent Portico have flagstone floors with tile and terrazzo trim. Approximately 25% of areas require replacement. Entire areas to be rehabilitated and cleaned.
- Two stairs to Mezzanine, and two stairs from Mezzanine to Balcony have terrazzo treads; repair, rehabilitate, clean and polish.
- All Restrooms, and Toilet/Showers to have new ceramic tile floor and base. Individual toilet rooms on the Projection Booth level are not included.
- Public Restroom to have ceramic tile walls full height.
- Dressing area Toilet/Showers to have ceramic tile wainscot. Epoxy coatings above.
- Public area of Concessions off of Lobby to have tile floor to match existing Lobby floor.
- Following areas to have vinyl floor tile and base: All areas below stage except Toilet/Shower areas, Coat Rooms, non public areas of Concessions, new exit corridor from apartments above, workroom and storage(s) in office area, individual toilet rooms, and Projection Booth including adjacent rooms.



12. Carpet

- Carpet to be direct glue down (no pad). Use \$32/yd. for carpet material and estimate 20% waste.
- The following areas are to have carpet:
  - Auditorium (use seating layout on original drawings): Aisles (include cross aisles), side exit areas, four (4) stairs to stage, balcony steps and risers and boxes.
  - Carpet to be full width of aisles and steps.
  - Main Foyers and entrance areas to Restrooms.
  - Office areas.
  - Mezzanine Foyer and two (2) small entrance areas to Restrooms.

13. Paint and Stain Finishes

- The following areas are to be in the Historical Restoration budget (all surfaces except the floors): Entire Auditorium, Main and Mezzanine Foyers, Main Lobby, two Concessions, entries to Restrooms, and Portico at 6th Avenue entrance.
- Paint Auditorium floors where carpet is not specified. Paint floor and risers in balcony seating areas.
- The following areas to have painted walls and ceilings:
  - Basement Level - All areas under the stage, in converted crawl space, and the two adjacent Mechanical Rooms.
  - First Floor - Areas to east of Stage, stage ladders, circular stairs and miscellaneous metal only on the stage. All other areas not included in Historical Restoration.
  - Mezzanine Level - two Electrical Rooms (original Organ Lofts); all other areas not included in Historical Restoration.
  - Balcony Level - All rooms to west of Balcony.
- Stage floor to be finished - four (4) coat process.
- All surfaces to have three (3) coats unless otherwise noted.
- Paint to be P & L quality, stains Cabot quality.

### Paint and Stain Finishes Continued

- Finish all wood and metal surfaces in all areas except Historical Restoration. This includes the remaining mechanical areas in the Basement.
- Walls above tile wainscot in Toilet/Shower in Dressing area and walls in individual Toilet Room to have epoxy coatings.

#### 14. Specialties

- Folding partitions, Dressing areas below Stage, floor to ceiling, sound rated, accordion type; Modernfold 'Soundmaster 12' quality.
- Metal toilet partitions; Sanymetal 'Academy' quality.
- Toilet Room accessories including handicap requirements, recessed paper towel and waste containers, soap dispensers, napkin dispensers, mirrors, paper-holders, etc.; chrome plated.
- Mirrors above dressing counters.
- Mop rack and shelving for three (3) Janitor closets.
- Four metal framed, glass poster cabinets in Lobby and Portico areas with locks. Replica of original design.
- Two (2) fiberglass shower stalls.
- Hat and coat shelving, rods and hangers, two (2) Coat Rooms.
- Wall hung shelf and clothes rack; Dressing Rooms and Green Areas.
- Stage extension, portable, lightweight; Wenger Honeycomb Pit Cover quality.
- Dual public telephone station.
- Provide a marquee and vertical sign at the 6th Avenue entrance. Design to be replica of original design.
- Rigging, curtains, and stage lighting support system to include following: 24 set T-Bar rigging system, 'Golo' power loading winch, fire curtain with automatic and manual release system, main curtain with manual operation, complete set of stage curtains (valance, borders, teasers, legs, black background sky cyclorama), an audience divider curtain with track, four electrics, two side light trees and a front-of-house light bridge, winch operated.

## Specialties Continued

### 15. Seating

- All new auditorium seating, see layout on original drawings. Total fixed seats 2,200. Irwin 'Springfield' quality.
- Twenty-four (24) upholstered chairs for Boxes.

## Mechanical Systems

### 1. Plumbing System

- Separate metering of water for apartments.
- Rod out and test all sanitary and storm sewer lines. Repair as needed. Install back water valves on all sewers leaving building and on all floor and shower drains.
- Rehabilitate all sewer and water piping systems replacing and extending piping as required.
- Install two (2) sump pumps in basement.
- Install three (3) new water heaters for following areas:
  - Dressing Room and Stage areas.
  - Public Restrooms and Concessions First and Mezzanine levels.
  - Projection Booth level.
- Insulate all hot water lines.
- Provide all new plumbing fixtures, Kohler quality.
- Provide three (3) wall hung water coolers (Mezzanine, Dressing area, Stage) and one marble floor drinking fountain for Main Foyer with cooling unit in adjacent Janitor closet.

### 2. Fire and Sprinkler Protection System

- Install separate fire protection system including emergency signaling, standpipes, two (2) exterior wall fire hydrants (5th and 6th Avenues), hose stations (one at each level) with cabinets, and all required accessories. One standpipe from basement to gridiron and one from basement to Projection Booth level.
- Install sprinklers in following areas:
  - Entire basement under Stage area behind (to east of) Stage, and gridiron level above Stage.
- Provide twelve (12) ABC fire extinguishers.

## Mechanical Systems Continued

### 3. HVAC Systems

- Rehabilitate entire air handling, ventilating and radiation systems. Replace equipment as required.
- Provide new piping and ductwork as needed.
- Provide two (2) new boilers in series with total capacity equal to required heating capacity of all areas except apartments.
- Provide new condensate pump, supply fans, exhaust fans, new radiator valves and system valves.
- Provide new air conditioning system (none exists).
- New solid state controls for maximum energy efficiency.
- Provide a third boiler if required for existing apartment heating system.
- All piping and ductwork to be insulated.
- Rehabilitate smoke relief system for the stage.
- Testing and balancing of systems.

## Electrical Systems

### 1. Electrical System

- Rehabilitate entire electrical system.
- Provide new service, grounding system, main switch/breaker, distribution panels, lighting panels.
- Replace and extend existing conduit systems as required.
- Provide new wiring system and wiring devices including plates.
- Provide company switch with conduit to audience station and coordinated to stage lighting. Also provide conduit to audience station for sound.
- Connect all equipment provided by other trades.
- Lighting fixtures:
  - Auditorium, both Foyers, Main Lobby, Portico: The intent is to restore those few existing fixtures and duplicate or buy similar fixtures for those missing. Fixtures shown on the original drawings will be the design guide for missing fixtures.
  - New fixtures in all other areas.
  - Provide strip lighting over mirrors at dressing counters.

## Electrical Systems Continued

- Provide lighting in poster boards, in Concession Counters and the window panel between the Main Foyer and the Auditorium.
- Provide trace floor lighting along each side of all aisles (including cross aisles) in 'The House'. Provide strips at nosing of all treads in Balcony area and on steps leading from Mezzanine Foyer to Balcony.
- Provide exterior fixtures above all exterior doors except main entrance.
- Provide self-illuminate exit signs (no wiring), 'Isolite' quality.
- Provide emergency lighting system.
- Provide service to new Marquee and Vertical sign.

### 2. Fire Alarm System

- Provide complete fire alarm system with audible speaker system and telephone contact to fire station.
- Provide two (2) entrance identification boards (5th and 6th Street Entrances) and main board in the theatre office area.
- Provide flow signal for sprinkler system.
- Provide disconnect of house sound system when fire alarm system is activated.
- Provide pull stations, heat and smoke detectors as required by code.
- Provide fan shut-off of fan systems.
- Provide two (2) key Knox-Boxes secured against tampering.

### 3. Stage Lighting and Control System

- Provide complete stage lighting system to include four (4) stage light battens, two (2) side ladders, two (2) follow spot stations, stage floor pockets, and wall/apron pockets.
- Provide all instruments for above locations and the 'Front of House' light bridge including two (2) follow spots (Altman Satellite I quality) and work lights.
- Provide all cables and accessories.

## Electrical Systems Continued

- Complete solid state control system.
  - Control Locations: Master control console in Projection Booth; Auxiliary Control Station on stage right; 'House' light controlled from Theatre Office area.
- Dimmer bank to control all stage lighting and general lighting in 'The House', both Foyers, Main Lobby and Portico. Do not control work lights. Dimmer equipment to be located in Organ Loft on stage right.
- Rehabilitate six (6) existing stage electrical floor pockets and provide eight (8) new wall/apron pockets.

### 4. Sound System

- The sound system to be complete and include the following: a 32 input mixing console with four (4) sub-groups, full frequency speaker enclosures, power amplifiers, digital delays, electronic cross-over, graphic equalizers, monitors, microphones, and sound effects.
- Intercom/call system with emergency performance cut-off.

### 5. Telephone System

- Provide conduit, boards, etc. for telephone system. Telephones to be located in Theatre Office (2), Dressing Room area, Projection Booth and two (2) public phones under stairs from First Level Foyer to Mezzanine Foyer.

## Notes

1. Outline specifications are to establish quality standards and general scope of work. The intent is not to be all inclusive in design, materials and work identifications.
2. The use of Manufacturer's products or systems names is to establish quality for cost estimating only. For later bidding purposes additional products and systems of similar quality and performance capability will be included.

## PROJECT COST ESTIMATE

The cost estimate is based on the Estimated Scope of Work - Outline Specifications. The costs figures are projected for mid 1990 bidding. A 10% contingency item has been included as a total for all phases of the project. The format of the cost estimate is that of the Construction Specification Institute. Costs of the property and of movable equipment are not included in this estimate.

The cost estimate is also based on a twelve month phased bidding and construction schedule controlled by a Construction Manager (CM) under direct contract to the Owner. This method usually results in the following advantages:

- Design/working drawings time and bidding/construction time overlap resulting in a reduction in the total project time, estimated at 17 months.
- There are more and smaller bid packages.
- More local contractors involved by direct contracts.

The CM's responsibilities include direct control and coordination over some work that is usually subcontracted by a prime contractor. The CM having full time site coordination also reduces the A/E site time to scheduled project meetings and periodic site visits in the role of interpreter of the Contract Drawings and Specifications. Without a CM more subcontracts are subjected to a prime contractor's mark-up. The A/E fee, when assuming the normal construction/field responsibilities, is 1½ % higher.

This is a conceptual cost estimate to be updated at various design and working drawing phases and also prior to bidding. Updates are the responsibility of the CM or the A/E according to the project control method used.

This detailed cost estimate also has the following advantages:

- Provides cost consideration of many details and phases of the proposed work should adjustment of the project cost be desirable
- Provides the capability of budgeting for work where there is an urgency to protect the building, etc.
- Provides the capability of establishing a sequence of phases of work over a period of time to accommodate funding problems and still place the building back in use at an earlier date. Many theatres have been renovated/restored through a phased building program requiring a number of years.

There are two alternates included in the cost estimate, however the cost of this alternate work is not included in the Total Project Cost on the first page titled, Summary of Cost Estimate.



KENOSHA THEATRE  
 KENOSHA, WISCONSIN

TORJESEN PROJECT CONTROL  
 COST ESTIMATE

\*\*\*\*\*  
 DESCRIPTION                    QUANTITY        UNIT        PRICE        COST        TOTAL  
 \*\*\*\*\*

SUMMARY OF COST ESTIMATE

CSI SPECIFICATION DIVISIONS

01 - GENERAL CONDITIONS				\$277,340	
02 - SITE WORK				\$91,609	
03 - CONCRETE				\$66,500	
04 - MASONRY				\$106,868	
05 - METALS				\$111,650	
06 - WOOD				\$73,600	
07 - MOISTURE/THERMAL PROTECTION				\$114,375	
08 - DOORS, WINDOWS & GLASS				\$76,800	
09 - FINISHES				\$619,058	
10 - SPECIALTIES				\$330,550	
11 - ARCHITECTURAL EQUIPMENT				\$292,000	
14 - CONVEYING SYSTEMS				\$6,000	
15 - MECHANICAL				\$383,250	
16 - ELECTRICAL				\$443,480	

-----					
SUB-TOTAL				\$2,993,079	
FEES & CONTINGENCIES				\$672,988	
-----					
TOTAL PROJECT COST				\$3,666,067	

ALTERNATE #1 - NEW EXTERIOR FINISH				\$132,708	
ALTERNATE #2 - 2ND FLOOR BEHIND STAGE				\$26,675	

KENOSHA THEATRE  
 KENOSHA, WISCONSIN

TORJESEN PROJECT CONTROL  
 COST ESTIMATE

\*\*\*\*\*  
 DESCRIPTION                      QUANTITY        UNIT        PRICE            COST            TOTAL  
 \*\*\*\*\*

PROFESSEIONAL FEES & COSTS

ARCHITECTURAL/ENGINEERING	\$2,715,739	JOB COST	0.0875	\$237,627	
CONSTRUCTION MANAGEMENT	\$2,715,739	JOB COST	0.05	\$135,787	
SPCL CONSULTANT (ASBESTOS LEGAL, SITE SURVEY, ETC) & REIMBURSABLES	1.00	LUMP SUM	\$28,000	\$28,000	\$401,414
CONSTRUCTION CONTINGENCY	\$2,715,739	JOB COST	0.1	\$271,574	\$271,574
-----					
SUB-TOTAL					\$672,988

DIVISION 01 - GENERAL CONDITIONS

INSURANCE - BUILDERS RISK	\$2,715,739	JOB COST	0.005	\$13,579	
- ALL-RISK	\$2,715,739	JOB COST	0.005	\$13,579	
- LIABILITY	\$2,715,739	JOB COST	0.01	\$27,157	
PERFORMANCE BOND	\$2,715,739	JOB COST	0.01	\$27,157	\$81,472
BUILDING PERMITS	\$2,715,739	JOB COST	0.0075	\$20,368	\$20,368
QUALITY CONTROL TESTING	1	L.S.	\$10,000	\$10,000	\$10,000
TEMPORARY UTILITIES	12	MOS	\$2,000	\$24,000	\$24,000
SCAFFOLDING - EXTERIOR	41000	S.F.	\$1.50	\$61,500	
SCAFFOLDING - INTERIOR	20000	S.F.	\$4.00	\$80,000	\$141,500
-----					
SUB-TOTAL					\$277,340

KENOSHA THEATRE  
 KENOSHA, WISCONSIN

TORJESEN PROJECT CONTROL  
 COST ESTIMATE

\*\*\*\*\*  
 DESCRIPTION                      QUANTITY      UNIT      PRICE      COST      TOTAL  
 \*\*\*\*\*

DIVISION 02 - SITE WORK & DEMOLITION

SITE DEMOLITION

RMV CONCRETE PAVEMENT	360	S.Y.	\$9.00	\$3,240	
					\$3,240

INTERIOR DEMOLITION

CLEAN OUT ALL DEBRIS	1	L.S.	\$3,000.00	\$3,000	
CUTOUT STAGE - NEW STAIR	20	S.F.	\$25.00	\$500	
DEMO CONC FLR - ELEC RM	40	S.F.	\$10.00	\$400	
CUTOUT MASONRY - CONCESS	1	EACH	\$350.00	\$350	
RMV EXTER DOUBLE DRS/FRMS	11	PAIR	\$55.00	\$605	
RMV INTER SINGLE DRS/FRMS	58	EACH	\$45.00	\$2,610	
DEMO FINISHES BELOW STAGE	1	L.S.	\$2,500.00	\$2,500	
RMV INTR PART - STORES	2000	S.F.	\$1.00	\$2,000	
RMV LATH/PLAST PART MEZZ	250	S.F.	\$1.50	\$375	
RMV TEMP WALL-TICKT BOOTH	450	S.F.	\$2.00	\$900	
ELECTRICAL SERVICE DEMO	1	L.S.	\$3,000.00	\$3,000	
RMV RIGGING BALANCE	1	L.S.	\$1,500.00	\$1,500	
STAGE FLOORING DEMOLITION	3120	S.F.	\$1.20	\$3,744	
HVAC DEMOLITION	1	L.S.	\$4,000.00	\$4,000	
PLUMBING DEMOLITION	1	L.S.	\$2,000.00	\$2,000	
ROOFING/GUTTER DEMOLITION	20100	S.F.	\$0.75	\$15,075	
RMV ASBESTOS PIPE INSUL	1000	L.F.	\$20.00	\$20,000	
RMV FIRE CURTAIN	1	EACH	\$1,000.00	\$1,000	
					\$63,559

EARTHWORK

EXCAVATE EXTERIOR FOOTING	200	C.Y.	\$15.00	\$3,000	
CRAWL SPACE BSMT BY HAND	130	C.Y.	\$50.00	\$6,500	
BACKFILL & UNDERSLAB FILL	200	C.Y.	\$20.00	\$4,000	
					\$13,500

PAVING

ASPHALT/STONE BASE DRIVES	175	S.Y.	\$15.00	\$2,625	
REPLC CONCRETE SIDEWALKS	1650	S.F.	\$2.50	\$4,125	
REPLC CONCRETE CURBS	90	L.F.	\$12.00	\$1,080	
					\$7,830

DRAINAGE

REPAIR DS COLLECTORS	1	L.S.	\$1,500.00	\$1,500	
					\$1,500

FENCES

6' CHAINLINK NORTH SIDE	132	L.F.	\$15.00	\$1,980	
					\$1,980

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SUB-TOTAL					\$91,609
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KENOSHA THEATRE  
KENOSHA, WISCONSIN

TORJESEN PROJECT CONTROL  
COST ESTIMATE

\*\*\*\*\*  
DESCRIPTION                      QUANTITY      UNIT      PRICE      COST      TOTAL  
\*\*\*\*\*

DIVISION 03 - CONCRETE

FOOTINGS & FOUNDATIONS	40	C.Y.	\$200.00	\$8,000	
CONC SLAB-ON-GRADE	1400	S.F.	\$3.50	\$4,900	
SOUND CONDUIT TRENCH	80	L.F.	\$15.00	\$1,200	
CONC SLAB-ON-EXISTING FLR	3800	S.F.	\$3.00	\$11,400	
REPAIR CONCRETE STAIRS	1	L.S.	\$1,500.00	\$1,500	
REPAIR HOLES AUDITRM FLR	1	L.S.	\$3,000.00	\$3,000	
CONC STAIR IN AREA WELL	1	EACH	\$2,500.00	\$2,500	
CONC STAIR TO STAGE	1	EACH	\$1,000.00	\$1,000	
MTL DECK W/CONC - CONCESS	400	S.F.	\$7.50	\$3,000	
EXIT PLATFORMS	5	EACH	\$200.00	\$1,000	
STRUCTOLITE ROOF DECK	4000	S.F.	\$7.00	\$28,000	
REPAIR CONC FLRS/WALLS	1	ALLOW	\$1,000.00	\$1,000	
					\$66,500
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SUB-TOTAL					\$66,500



KENOSHA THEATRE  
 KENOSHA, WISCONSIN

TORJESEN PROJECT CONTROL  
 COST ESTIMATE

\*\*\*\*\*  
 DESCRIPTION                      QUANTITY      UNIT              PRICE              COST              TOTAL  
 \*\*\*\*\*

DIVISION 05 - METALS

BAR JOISTS & METAL DECK	2050	S.F.	\$10.00	\$20,500	
STRUC REINF ORGAN LOFTS	2	EACH	\$2,500.00	\$5,000	
ATTIC CATWALKS W/WD PLANK	300	L.F.	\$50.00	\$15,000	
REHAB MTL CATWALK-CONCESS	55	L.F.	\$20.00	\$1,100	
					\$41,600
METAL STAIRS - DRS RMS	17	RISERS	\$150.00	\$2,550	
SPIRAL STAIR-STAGE/ORGAN	35	RISERS	\$300.00	\$10,500	
REBUILD MEZZ STAIRS	2	EACH	\$1,000.00	\$2,000	
					\$15,050
LADDER W/CAGE - STAGE/ORG	100	V.L.F.	\$75.00	\$7,500	
LADDER - ROOF ACCESS	1	EACH	\$500.00	\$500	
FIRE ESCAPE REPAIR/PAINT	1	L.S.	\$15,000.00	\$15,000	
					\$23,000
BALCONY RAILINGS - STEEL	300	L.F.	\$20.00	\$6,000	
W.I. RAILING - STAGE/ORCH	40	L.F.	\$100.00	\$4,000	
1 1/2" PIPE RAILING	150	L.F.	\$25.00	\$3,750	
REHAB ORN IRON RAILG MEZZ	160	L.F.	\$10.00	\$1,600	
					\$15,350
ENTRY CANOPY	85	S.F.	\$40.00	\$3,400	
W.I. TICKET WINDOW FRM	1	EACH	\$250.00	\$250	
REHAB PROJ BOOTH SHUTTERS	5	EACH	\$200.00	\$1,000	
SECURITY GATES	2	EACH	\$5,000.00	\$10,000	
ORNTL IRON GATES	4	EACH	\$500.00	\$2,000	
					\$16,650
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SUB-TOTAL					\$111,650

KENOSHA THEATRE  
 KENOSHA, WISCONSIN

TORJESEN PROJECT CONTROL  
 COST ESTIMATE

\*\*\*\*\*  
 DESCRIPTION                      QUANTITY              UNIT              PRICE              COST              TOTAL  
 \*\*\*\*\*

DIVISION 06 - WOOD

MISC BLOCKING	1	L.S.	\$1,500.00	\$1,500	
WALL FURRING	8300	S.F.	\$1.00	\$8,300	
FRAME PARTITIONS	10000	S.F.	\$1.25	\$12,500	
SUBFLOOR ON SLEEPERS	3200	S.F.	\$2.50	\$8,000	
					\$30,300
PLASTIC LAMINATE VANITIES	350	L.F.	\$20.00	\$7,000	
STAGE FLOOR - MAPLE	900	S.F.	\$6.50	\$5,850	
STAGE FLOOR - FUR	2300	S.F.	\$3.00	\$6,900	
ORCH PIT HANDRAIL	40	L.F.	\$45.00	\$1,800	
					\$21,550
CONCESSION COUNTERS/BARS	100	L.F.	\$100.00	\$10,000	
CABINET, TICKET COUNTER	10	L.F.	\$75.00	\$750	
NEW TICKET BOOTH	1	EACH	\$8,000.00	\$8,000	
STORAGE SHELVING	300	S.F.	\$10.00	\$3,000	
					\$21,750
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SUB-TOTAL					\$73,600

KENOSHA THEATRE  
KENOSHA, WISCONSIN

TORJESEN PROJECT CONTROL  
COST ESTIMATE

DESCRIPTION	QUANTITY	UNIT	PRICE	COST	TOTAL
*****					
DIVISION 07 - MOISTURE/THERMAL PROTECTION					
DAMPPROOF & CAULK MASONRY	41000	S.F.	\$0.40	\$16,400	\$16,400
3" ISOCYANURATE INSULAT'N	22150	S.F.	\$2.00	\$44,300	
EPDM MEMBRANE ROOFING	22150	S.F.	\$1.50	\$33,225	
MEMBRANE FLASHING	2850	S.F.	\$3.00	\$8,550	\$86,075
GUTTERS & DOWNSPOUTS GALV	1150	L.F.	\$5.00	\$5,750	\$5,750
ROOF HATCH - STAGE HOUSE	1	EACH	\$650.00	\$650	
RESTORE SMOKE RELF PENTHS	1	EACH	\$3,500.00	\$3,500	
RESTORE SMOKE RELF VENTIL	4	EACH	\$500.00	\$2,000	\$6,150
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SUB-TOTAL					\$114,375



KENOSHA THEATRE  
KENOSHA, WISCONSIN

TORJESEN PROJECT CONTROL  
COST ESTIMATE

\*\*\*\*\*  
DESCRIPTION                      QUANTITY      UNIT      PRICE              COST              TOTAL  
\*\*\*\*\*

DIVISION 08 - DOORS, WINDOWS & GLASS

EXTR HM DRS, FRMS & HRDWR	12	PAIR	\$1,400.00	\$16,800	
INTR HM DRS, FRMS & HRDWR	42	EACH	\$550.00	\$23,100	
INTR WD DRS, FRMS & HRDWR	20	EACH	\$400.00	\$8,000	
REHAB ENTRY DRS, HW, GLSS	6	PAIR	\$1,000.00	\$6,000	
REHAB LOBBY DRS, HW, GLSS	6	PAIR	\$750.00	\$4,500	
					\$58,400
RPLC WD WINDOW W/MTL THRM	12	EACH	\$450.00	\$5,400	
RPLC HIST WD WINDOW- FRNT	12	EACH	\$500.00	\$6,000	
					\$11,400
WD FRM STAIN GLASS WINDOW	2	EACH	\$3,500.00	\$7,000	
					\$7,000
-----					
SUB-TOTAL					\$76,800

KENOSHA THEATRE  
KENOSHA, WISCONSIN

TORJESEN PROJECT CONTROL  
COST ESTIMATE

\*\*\*\*\*  
DESCRIPTION                      QUANTITY      UNIT      PRICE      COST      TOTAL  
\*\*\*\*\*

DIVISION 09 - FINISHES

CEILING SUSPENSION SYSTEM

ORGAN LOFTS	700	S.F.	\$1.00	\$700	
CONCESSION AREAS	700	S.F.	\$1.00	\$700	
FURRING & LATH (STUDS)					
CEILING	1400	S.F.	\$1.50	\$2,100	
MEZZ CONCESS EAST WALL	500	S.F.	\$2.50	\$1,250	
ORGAN LOFTS	1000	S.F.	\$2.50	\$2,500	
PLASTER - 3 COATS	2900	S.F.	\$2.25	\$6,525	

\$13,775

ORNTL LATH/PLASTER REPAIR	1	L.S.	\$175,000.00	\$175,000	\$175,000
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ACOUSTIC CEILING & GRID

OFFICE AREAS	1400	S.F.	\$1.50	\$2,100	\$2,100
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MTL STUD, 5/8 FC, FIN JTS

BELOW STAGE AREA PARTIT	2000	S.F.	\$3.00	\$6,000	
BEHIND STAGE 2 FLRS	2000	S.F.	\$3.00	\$6,000	
SPIRAL STAIR	300	S.F.	\$3.00	\$900	
OFFICE AREAS - FIRE RAT	1000	S.F.	\$4.00	\$4,000	
OFFICE AREAS	800	S.F.	\$3.00	\$2,400	

MTL FURRING, DW, FIN JTS

EXTR WALL MAIN TOILETS	1600	S.F.	\$2.00	\$3,200	
DW CEIL, MTL SUSP, FIN JTS					
BEHIND STAGE	1400	S.F.	\$2.75	\$3,850	
MAIN FLR TOILETS	850		\$2.75	\$2,338	

\$28,688

CERAMIC TILE WALLS/FLOORS

REHAB TILE FLRS - LOBBY	4550	S.F.	\$7.50	\$34,125	
NEW TILE FLR - CONCESSION	2200	S.F.	\$4.00	\$8,800	
	450	S.F.	\$10.00	\$4,500	

\$47,425

REHAB TERRAZZO STAIR TRDS

VINYL FLR TILE & BASE	400	S.F.	\$10.00	\$4,000	
CARPETING	4600	S.F.	\$3.50	\$16,100	
	1400	S.Y.	\$40.00	\$56,000	

HISTORICAL RESTORATION

	1	L.S.	\$334,000.00	\$334,000	\$334,000
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PAINT ORCH & BALC FLOORS

PAINT WALL & CEILINGS	12600	S.F.	\$0.20	\$2,520	
EPOXY WALLS & CEILINGS	9600	S.F.	\$0.50	\$4,800	
FINISH STAGE FLOOR	1000	S.F.	\$1.50	\$1,500	
EXTR DRS, GUTTRS/DS, LADR	3000	S.F.	\$1.25	\$3,750	
PAINT MECH WALL/CEIL/FLRS	2000	S.F.	\$1.50	\$3,000	
	10000	S.F.	\$0.25	\$2,500	

\$18,070

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SUB-TOTAL					\$619,058

KENOSHA THEATRE  
 KENOSHA, WISCONSIN

TORJESEN PROJECT CONTROL  
 COST ESTIMATE

\*\*\*\*\*  
 DESCRIPTION                      QUANTITY      UNIT              PRICE              COST              TOTAL  
 \*\*\*\*\*

DIVISION 10 - SPECIALTIES

TOILET COMPARTMENTS	30	EACH	\$500.00	\$15,000	
ACCORDION PARTITIONS	200	S.F.	\$25.00	\$5,000	
TOILET RM ACCESSORIES	15	SETS	\$300.00	\$4,500	
DRESSING RM ACCESSORIES	50	SETS	\$150.00	\$7,500	
JANITOR CLOSETS	3	EACH	\$200.00	\$600	
SHOWER STALLS, FIBERGLASS	2	EACH	\$400.00	\$800	
					\$33,400
FRAMED GLASS POSTER CASES	4	EACH	\$800.00	\$3,200	
					\$3,200
HAT & COAT RACKS	30	L.F.	\$50.00	\$1,500	
CLOTHS ROD & SHELF	85	L.F.	\$30.00	\$2,550	
					\$4,050
RIGGING W/CURTAINS & FIRE	24	SETS	\$6,562.50	\$157,500	
LIGHT BRIDGE W/WINCH	1	EACH	\$40,000.00	\$40,000	
AUDIANCE DIVIDER CURTAIN	1	EACH	\$18,000.00	\$18,000	
STAGE EXTENSION	400	S.F.	\$10.00	\$4,000	
					\$219,500
VERTICAL SIGN	1	EACH	\$40,000.00	\$40,000	
MARQUEE & CANOPY	1	EACH	\$30,000.00	\$30,000	
					\$70,000
TELEPHONE BOOTH	1	EACH	\$400.00	\$400	
					\$400
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SUB-TOTAL					\$330,550

KENOSHA THEATRE  
 KENOSHA, WISCONSIN

TORJESEN PROJECT CONTROL  
 COST ESTIMATE

\*\*\*\*\*  
 DESCRIPTION                                    QUANTITY                    UNIT                    PRICE                    COST                    TOTAL  
 \*\*\*\*\*

DIVISION 11 - EQUIPMENT

AUDITORIUM SEATING - NEW	2200	EACH	\$130.00	\$286,000	
UPHOLSTER BOX CHAIRS	24	EACH	\$250.00	\$6,000	
<hr/>					\$292,000
SUB-TOTAL					\$292,000

KENOSHA THEATRE  
KENOSHA, WISCONSIN

TORJESEN PROJECT CONTROL  
COST ESTIMATE

\*\*\*\*\*

DESCRIPTION	QUANTITY	UNIT	PRICE	COST	TOTAL
*****					
DIVISION 14 - CONVEYING SYSTEMS					
WHEELCHAIR LIFT - STAGE	1	EACH	\$6,000.00	\$6,000	\$6,000
-----					
SUB-TOTAL					\$6,000

KENOSHA THEATRE  
 KENOSHA, WISCONSIN

TORJESEN PROJECT CONTROL  
 COST ESTIMATE

DESCRIPTION	QUANTITY	UNIT	PRICE	COST	TOTAL
*****					
DIVISION 15 - MECHANICAL					
PLUMBING					
WATER SERV/METER SEPARATE	1	L.S.	\$5,000.00	\$5,000	
ROD/TEST SAN/STRM SEWERS	1	L.S.	\$3,500.00	\$3,500	
BACKFLOW PREVENTORS	4	EACH	\$5,000.00	\$20,000	
					\$28,500
REHAB SEWER & WATER SYS	1	L.S.	\$15,000.00	\$15,000	
INSTL NEW SUMP PUMPS	2	EACH	\$750.00	\$1,500	
WATER HTR DRS RMS 200 GAL	1	EACH	\$2,500.00	\$2,500	
WTR HTR TOIL/PROJ 50 GAL	2	EACH	\$1,250.00	\$2,500	
INSULATE WATER PIPING	600	L.F.	\$3.00	\$1,800	
					\$23,300
LAVATORIES INCL ROUGH-IN	15	EACH	\$600.00	\$9,000	
SHOWER ROUGH-IN	2	EACH	\$400.00	\$800	
JANITOR SINK W/ RI	3	EACH	\$1,050.00	\$3,150	
URINALS W/ RI	10	EACH	\$850.00	\$8,500	
WATER CLOSETS W/ RI	30	EACH	\$1,100.00	\$33,000	
					\$54,450
WATER COOLER	2	EACH	\$850.00	\$1,700	
H.C. WATER COOLER	1	EACH	\$1,300.00	\$1,300	
MARBLE DRINKING FOUNTAIN	1	EACH	\$1,100.00	\$1,100	
					\$4,100
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SUB-TOTAL					\$110,350

KENOSHA THEATRE  
 KENOSHA, WISCONSIN

TORJESEN PROJECT CONTROL  
 COST ESTIMATE

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*****
DESCRIPTION                QUANTITY    UNIT    PRICE        COST        TOTAL
*****
FIRE EXTINGUISHING SYSTEMS

FIRE SERVICE                1 EACH      $4,000.00   $4,000
EXTR WALL FIRE HYDRANTS    2 EACH      $2,500.00   $5,000
STANDPIPE W/HOSE CABINETS  8 EACH      $500.00     $4,000
                                                $13,000
FIRE EXTINGUISHER          12 EACH     $100.00     $1,200
                                                $1,200
SPRINKLER SYSTEM
  BELOW STAGE               3000 S.F.   $2.50       $7,500
  BEHIND STAGE - 2 FLRS    2000 S.F.   $2.50       $5,000
  GRID IRON                 3000 S.F.   $2.50       $7,500
                                                $20,000
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SUB-TOTAL                    $34,200
  
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KENOSHA THEATRE  
KENOSHA, WISCONSIN

TORJESEN PROJECT CONTROL  
COST ESTIMATE

\*\*\*\*\*  
DESCRIPTION                      QUANTITY      UNIT              PRICE              COST              TOTAL  
\*\*\*\*\*

HEATING, VENTILATING, AIR CONDITIONING

BOILER (STEAM) - 1500 MBH	2	EACH	\$15,000.00	\$30,000	
BOILER, APT. - 200 MBH	1	EACH	\$3,100.00	\$3,100	
STEAM/COND PIPING	1800	L.F.	\$22.00	\$39,600	
RADIATION FIN TUBE	500	L.F.	\$32.00	\$16,000	
AIR HANDLERS - 20000 CFM	2	EACH	\$12,000.00	\$24,000	
WATER CHILLER - 50 TON	2	EACH	\$25,000.00	\$50,000	
CHILLED WATER PIPING	1000	L.F.	\$22.00	\$22,000	
CLEAN & REHAB DUCTWORK	3000	LBS.	\$4.00	\$12,000	
EXHAUST FANS	4	EACH	\$2,500.00	\$10,000	
TEMPERATURE CONTROLS	1	L.S.	\$20,000.00	\$20,000	
TEST & BALANCE SYSTEMS	1	L.S.	\$12,000.00	\$12,000	
					\$238,700
-----					
SUB-TOTAL					\$238,700



KENOSHA THEATRE  
 KENOSHA, WISCONSIN

TORJESEN PROJECT CONTROL  
 COST ESTIMATE

\*\*\*\*\*  
 DESCRIPTION                      QUANTITY      UNIT              PRICE              COST              TOTAL  
 \*\*\*\*\*

DIVISION 16 - ELECTRICAL

NEW SERVICE - 1600 AMP	1	EACH	\$16,000.00	\$16,000	
SWITCHGEAR & PANELS	1600	AMP	\$15.00	\$24,000	
SYSTEM GROUNDING	1	EACH	\$1,500.00	\$1,500	
FEEDERS	500	L.F.	\$50.00	\$25,000	
BRANCH CIRCUITS	150	EACH	\$150.00	\$22,500	
					\$89,000
HOUSE LIGHTING FIXTURES	75	EACH	\$200.00	\$15,000	
STRIP LIGHTS - 3 CIRCUIT	300	L.F.	\$65.00	\$19,500	
RESTORE 4' CHANDELIERS	8	EACH	\$500.00	\$4,000	
POWER OUTLETS	40	EACH	\$50.00	\$2,000	
AISLE TRACE LIGHTS	1650	L.F.	\$15.00	\$24,750	
DRS RM MAKE-UP STRIP LITS	100	L.F.	\$40.00	\$4,000	
EXTERIOR FIXTURES	14	EACH	\$120.00	\$1,680	
ISOLITE EXIT SIGNS	20	EACH	\$350.00	\$7,000	
EMERGENCY LIGHTING BATT	50	EACH	\$350.00	\$17,500	
AUDITOR HIGH HAT FIXTURES	30	EACH	\$250.00	\$7,500	
FLUORESCENT, OFF/TOIL/DRS	75	EACH	\$200.00	\$15,000	
					\$95,430
FIRE ALARM/ANNUNC PANELS	2	EACH	\$15,000.00	\$30,000	
EMER COMMUNICATION SYS	1	L.S.	\$20,000.00	\$20,000	
SMOKE/HEAT DETECTORS	24000	S.F.	\$1.50	\$36,000	
FLOW/TAMPER/OFF SWITCHES	1	L.S.	\$2,500.00	\$2,500	
MANUAL PULL STATIONS	10	EACH	\$500.00	\$5,000	
					\$93,500
STAGE ELECTRICS & BORDERS	145	L.F.	\$150.00	\$21,750	
SIDE LIGHTS & LADDERS	2	EACH	\$4,500.00	\$9,000	
FRONT OF HOUSE LIGHTS	30	EACH	\$200.00	\$6,000	
FOLLOW SPOTS	2	EACH	\$1,500.00	\$3,000	
WORK LIGHTS	8	EACH	\$150.00	\$1,200	
DIMMER BANKS	200	CIRC	\$120.00	\$24,000	
MASTER CONTROL CONSOLE	1	EACH	\$8,000.00	\$8,000	
AUXIL CONTROL BOARDS	2	EACH	\$1,500.00	\$3,000	
ELECTRIC FLR/WALL POCKETS	14	EACH	\$300.00	\$4,200	
					\$80,150
SOUND SYSTEM CONDUIT	1	L.S.	\$10,000.00	\$10,000	
SPEAKERS ENCLOSURES HRDWR	1	L.S.	\$22,600.00	\$22,600	
AMPS DELAYS CRSOVR EQUALZ	1	L.S.	\$7,700.00	\$7,700	
MIXING CONSOLE	1	EACH	\$10,000.00	\$10,000	
MONITORS MICS CABLE	1	L.S.	\$56,000.00	\$5,600	
INSTALLATION LABOR	1	L.S.	\$10,000.00	\$10,000	
INTERCOM/CALL SYSTEM	1	L.S.	\$7,500.00	\$7,500	
					\$73,400
EQUIPMENT CONNECTION	1	L.S.	\$12,000.00	\$12,000	
					\$12,000
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SUB-TOTAL					\$443,480



APPENDIX

The following comments were also received on the returned questionnaires from the public surveys conducted. Additional comments were also included in the SURVEY OF MARKET section of this report.

From Kenosha And Kenosha County - Response from Controlled Mailing #1

"We never knew this type of entertainment could exist in Kenosha."

"We were pleased to answer this questionnaire and encouraged that something is being done to further cultural development in Kenosha."

"No Rock Music or Rock Concerts."

"A good entertainment center could be very valuable to Kenosha. If it is used for Rock Concerts primarily, that could cause more problems than we already have. But, a tastefully decorated and quality produced entertainment would be wonderful and a good change for this area."

"When you live alone and no one to go with you, for your own safety you stay home and watch the boob tube."

"I am a busy person, might miss some things because of schedule."

"DO IT!"

"I find most performances are not advertised enough. Perhaps radio (because I listen to radio) can be used besides Newspaper??"

"I know that this plan is the dream of many in Kenosha, but we must guard against false optimism and poor planning; there is nothing worse than a failed business plan for a basically attractive proposal."

"We are very happy to see the Rhode Opera House (Gateway Theatre) restored and would probably attend - we go out-of-town to see live performers - drama or State Fairs and Country Fairs - Parking is important - unless impossible in which case people don't dress up to walk blocks to see a performance -- Generally Kenosha Theatre is just as important if not more so - it should be utilized as a reception center upper section - A Bride and Groom walking down a staircase would be spectacular or a Miss Kenosha and Miss Wisconsin (a DREAM - RIGHT!!)?"

"As I understand the acoustics in Kenosha Theatre is or was the tops in U.S. - Years ago anyway."

"Retired - not interested."

"I would like to see good family wholesome entertainment in this town."

"My answers are very negative, am 85 years of age and disabled and confined to my home - Seldom Get Out."

"I probably wouldn't attend anything in the downtown area."

"Would like to see an entertainment center in Kenosha."

"I would rather see a new facility built than remodeling of the old theatres. One that would be designed with acoustics in mind and located where the population is. Thank You."

"Comedy, Jazz, Blues, presently I go to Milwaukee, Chicago. Kenosha needs this type of entertainment to keep money in this area. A million dollar boat harbor and nothing to do. I support any type of Entertainment to keep Kenosha Alive!!!"

"We like nice shows and etc. - Do not demand Broadway-have participated in Keno Little Theatre."

"I would very much like to see the kinds of quality of entertainment upgraded in Kenosha."

"I am an 82 year old widow and I don't get out to many social doings."

"Remember that you are competing with many other landmark theatre structures which have been revived, many of them in Chicago-Milwaukee metro area of which we are on the fringe. The Pabst, The Joliet Rialto, The Chicago, the outdoor theatres, (Ravinia, Poplar Creek, Alpine Valley), dinner theatres, legitimate theatres in Chicago and Milwaukee, the PAC all compete for the same entertainment dollar in this metropolitan area and we will have to depend on this market for our patrons. The city of Kenosha alone could never support this effort."

"Would use a subscription type of plan. Package of 5-10 performances."

"Kenosha needs an entertainment center if it intends to be a quality city."

"I am not convinced the economic support exists for both theatres -- at least before any significant tourism impact can be felt from the Marina (5-10 years from now), a community center, as opposed to two competing theatres, is probably the best choice."

"It would be an expense to the taxpayers of Kenosha County, and would not generate much interest to people beyond our county. Only Kenosha City would benefit from the rehabilitation of these buildings. Too little, too late!!--(Again)."

"It would be a pleasure to be able to go to Kenosha rather than Milwaukee or Chicago for entertainment."

"Should of done this 10 years ago. Check on the calibre of people living in Kenosha, they are so negative, maybe after Chrysler leaves we can weed out the hot shots and get down to serious business again."

"I wish you success in preserving the Kenosha and Rhode theatres as historical buildings in Kenosha. My dad worked at the old Rhode Theatre in approximately 1919 and 1920, so it goes back more than a half century. An entertainment center is really needed in this area. Kenosha people must travel to Milwaukee or Chicago or even further to see good, live entertainment."

"Good Luck on your venture."

"I have no idea about ticket prices. I would love to attend the theatre but never have a chance to. A rock concert is one thing I would love to go to. I haven't lived in Kenosha long, but I believe in trying to keep historical landmarks. But I also believe going to the theatre is old-fashioned."

"Keep up the good work!"

"Clean up the area of the Theatre, good parking. Good security both building and parking lots."

"I am 90 years old and do not attend any musicals or concerts. Thank you."

"If, rather WHEN, American Motors leaves Kenosha, I think the Rhode site could be put to better use than being an un-used old landmark doing absolutely nothing toward the city's growth or progress. Let's WAKE UP AND BEAT RACINE TO GROWTH AND GOOD IDEAS! AND CLEANUP - REMOVE THE 6TH AVENUE MALL!"

"We attended the play "Scratch" at the Rhode Theatre and enjoyed it. The comment I have is the prop could have been much better. It was also the opinion of others."

"Movie ticket prices are starting to go out of range. If it continues to go up we will discontinue to go."

"I don't care what the city does, as long as it don't cost me any more money. Taxes in Kenosha are too high."

"Saw the Tambaritzen at Bullen Jr. High - enjoyed it - also like the travel-log every other Friday at Reuther High."

"We go to Lincolnshire to see their musicals - sure would like something like that in Kenosha."

"Quality is more important than "Professional or Amateur". I've attended theatre productions from grade school to Broadway and quality at both ends has been enjoyed!"

From Kenosha And Kenosha County - Response from Service &  
Professional Organizations

"I hate Country Western."

"Develop the Kensoha Theatre - Tear down the Rhode."

"Kenosha needs an increase in the fine arts."

"Control of audience is also important."

"I enthusiastically endorse developing a Community Theatre - Entertainment Center in Kenosha."

"The fine arts should always be promoted, as their participation/appreciation is NOT age - restrictive or limited."

"Perhaps it would be beneficial to factor in the impact of the imminent Chrysler Plant closing on the ticket paying ability of your audience. Five thousand unemployed workers will greatly impact the economics of this area. - Not only will these 5,000 workers be budget conscious, but also the merchants and businesses they patronize. Secondly, it may be advantageous to discuss your plans with an economic geographer. These people are trained to determine which location would be most beneficial for your purpose."

From Kenosha And Kenosha County - Response from Newspapers

"It's tough to beat Kenosha High School (present Reuther Auditorium) for acoustics and accessibility. Perhaps Rhode Theatre would better accommodate smaller audiences and perhaps, too (I don't know) rental would be less."

"About every six weeks - How about running an old movie - Cary Grant, Humphrey Bogart, etc."

"It all depends on the group or individuals being presented, I would be interested in some but not all the performers you might consider."

"Born and raised in Kenosha all my 59 years. Would just love to see the "Old Gateway (now Rhode) and Kenosha Theatre come alive again - We need the "old Kenosha" back again. What a joy to see the theatres open again and remember where I spent a great part of my life in them!! Let's get them going - A Kenosha Love!!!"

"We Seniors have to go by bus to various communities to see "good" entertainment. Why not offer "good" entertainment - like musicals and "light" drama (locally) will come. i.e. "Scratch" was too antiquated - too historical for us- in our "later years" to enjoy. I'm all for supporting our local theatres. (We are recent season ticket purchasers to Rhode Theatre). As a matter of fact - Offer p.m. matinees - Seniors would jump at this chance! At \$9.00 a ticket - just for a p.m. "Show" you might have to make a special matinee for just Seniors - I'm thinking BIG and positively!! Contact me if you like."

"Of the plays - I would like a better idea of what they are about."

"I have enjoyed live theatre in Kenosha for more than 20 years. I appreciate your progression from Grace Lutheran to - Kemper Gym - to Rhode Theatre, and other prior places. The performing arts brings together people with intelligent, creative minds and the courage to entertain and teach via insight communication - Carry On. Thanks."

"The restoration of these theatres is important enough that a portion of the maintenance costs should be included in the city budget."

"These are programs that may be worth every penny of a \$20.00 ticket but I would probably not take advantage of that expensive a ticket. If I decided that I wanted to spend that amount, I can think of a friend or friends that would."

"Kenosha needs to open the old theatre you showed in the article - We would contribute to a citizen's fund drive. You also need city, county and state funding to restore. We need GOOD professional entertainment here."



"I used to go to the Melody Top Theatre in Milwaukee two or three times every season until they closed. Enjoyed that type of entertainment."

"We have been waiting for this theatre for ages!! Your play D. and Dan W. was very much enjoyed! Something you did not cover is the amount to be a patron of your company?? As we have seasonal tickets, we will be in attendance."

"I now buy season tickets, Lakeside Players, Parkside, Racine Theatre Guild, Racine Symphony and Kenosha."

"Would like to see the Full Rhode Theatre stage developed as soon as possible. Also allow private vending to operate in the Lobby to provide more patron convenience and another source of income."

"I spent most of my Sunday afternoons at one of our local theatres. I would love to see them re-open and recapture some of those happy memories. Parking seems to be your biggest problem - ramps would have to be built."

"The Rhode is such a beautiful place. I would like to see it used to its capacity."

"Well lighted parking very important."

"Kenosha needs a fine theatre to have main events in so that we do not have to go to Milwaukee or Chicago."

"What Kenosha needs is someone to make a commitment to do something and then do it, not set-up a committee and waste two years while Racine or surrounding communities beat us out of what we deserve - that's happened too many times already."

"If I had more time and money, I'd enjoy entertainment, but with my life the way it is I probably won't go. If I could, I'd like to see ballet."

"We need something similar to Waukesha Expo Center or Memorial Hall as well as the theatres in the downtown area. (Boat and sport shows, concerts, and events like pro-wrestling and boxing are all very popular)."

"We need a Theatre where us older people can go for a night out and not out-of-town. The two Theatres in town would be great for the Kenosha Theatre. I remember well as that is the place we went the most."

"Kenosha Theatre?? Hopeless!! Will take MILLIONS to make useable. One perhaps. Planners must be realistic and not saddle taxpayers; like a loser. This must be a PRIVATE enterprise not a taxpayer capped one. Kenosha cannot even support an ice rink! Two theatres is not reasonable. Rhode has best possibilities. Would need excellent, professional management."

"You must have people devoted to promotion who have the contacts to arrange workable bookings so your first performances are successful."

"Reasonable prices, parking, comfort of theare - Respectable artists - competative to area. Should not be a burden to taxpayers via financing. Glad to see what interest Kenosha has in theatre before commitment."

"Please realize how very important our landmarks are. Also, this is a very good idea to open up our theatres. Kenosha needs an improved image. I hate it when people put Kenosha down. Our town is what we make it."

"Would like the entertainment like Milwaukee Riverside has. Your name stars - Country music we enjoy a lot - Good Luck."

"Look forward to Lakeside Players performances! How about some musicals and dance rewiews. I have two small children and can't always get out - but it is wonderful to be entertained in a place like this near to home yet away from the bar scene."

"This is something that Kenosha REALLY needs and I hope that they support it."

"The availability (and pricing) of a theatre for local groups to sponsor local or national talent."

"We need a theatre in this town so we don't have to travel out of town."

"Restoration of the Rhode Theatre to bring activities as indicated above to Kenosha would benefit everyone in our community. A marina will be for a select few of our population so use marina funds to give us a first-rate theatre, even subsidizing ticket-prices to keep them reasonable and affordable for all."

"Although I'm sincerely interested in seeing the theatre restored, I would think it important to know you had an audience for quality productions beyond those already sponsored by Parkside or Carthage."

"I would like to see both of these theatres used for the enrichment of the community. They are lovely, old buildings and it would be a shame to let them sit idle or be torn down."

"A safe, secure evening environment without bother or harassment from our disabled is imperative to the success of any evening social events. The current lack of safety is not conducive to downtown social events. (lack of safety is not due to disabled but other undesirables). Women, in particular, do NOT feel safe in the area at night!"

"I think for a city like Kenosha the price cannot be too high. I buy season tickets for the Racine Theatre Guild and other performances which are well attended. Possibly you could have open tickets to give as gifts. By open ticket I mean one where the recipient could use it for any entertainment of their choice."

"Please contact Frank Carmichel of Happening Magazine about the thrill of bringing class acts to Kenosha and nobody shows up. I really enjoyed Frank Sinatra Jr., but three dozen people showing up out of a population of 75,000 --- doesn't even pay the drummer. This ad cost more than most TOP NAME entertainment would draw in downtown Kenosha as it stands now."

"I think it's about time someone decided to get the ball rolling on entertainment in K-town. Publicity is what you'll need the most of - and don't stop the publicity after several good attendances!!! Make it a class act!!!"

"I feel if we had a theatre in Kenosha a lot of people would stay here and the money would stay here too!!!"

"I feel that with Kenosha being in the middle of Milwaukee and Chicago, we should be able to get half-way decent, if not top name entertainment here. Kenosha needs it."

"Keep prices so average and low income retirees can support some. I was a cashier for this theatre years ago and glad to see it re-open - it's beautiful."

"I have travelled to Candlelight Theatre - Musical Marriott Dury Lane Theatre - Musical Merrieville, Ind. - Musical Chicago-Milwaukee-Symphony's, New York-Musicals and Drama. It would be great to hear and see Liza Minelli, Rosemary Clooney, etc. without traveling miles to do so as we have to do now. Lectures by interesting people are important also. If I can be of any help on your study let me know - I'm good at P.R. work and like music and drama."

"I think it's time we get a good theatre in Kenosha."

"It's about time you put a real performance center in this town. Thank You."

"Would hate to see theatres not make it, and be torn down - Most of old Kenosha is torn down."

"Kenosha needs an entertainment facility, the Kenosha Theatre was beautiful. It should be restored. I have many friends that I know would support a restoration."

"It would be wonderful if you could have something like this then a lot of people wouldn't have to go to Milwaukee theatre by the River."

"I have grown up in Kenosha and it is a fine city, I would like to see it appreciated as it deserves. Top flight entertainment a great help. P.S. I used to go to the Kenosha Theatre and I loved it."

"I would like to see some professional touring ice skating shows like the Disney on Ice Shows and all the other touring ice shows too. Also, how about getting some stage shows, some professional wrestling. Have those stars like Hulk Hogan."

"It would be nice to have in Kenosha places to go that would take care of the various entertainment mentioned here."

"It would be great not to have to go to Milwaukee or Illinois for good shows."

"Kenosha has not provided alternative viewing to the VCR. Kenosha is not progressive in this respect. Why Not?"

"Tear down all buildings which are empty or partially empty in Downtown Kenosha."

"I sincerely hope Kenosha City can swing an active theatre."

"I enjoy plays, movies, most music (not Rock and very seldom Western). Otherwise, most other entertainment."

"The main issue is to get quality performers along with quality - service and surroundings here in KENOSHA."

"Heating and air conditioning is essential. I recently attended a play at the Rhode Theatre and found it colder in there than outside. I'm not the only one that was uncomfortable."

"I appreciate good entertainment and will probably go to a Lakeside play this winter."

"A hard form to fill out since clearly one makes decisions based on the specific performer or performance as well as time and other variables. One jazz group is not equivalent to another, nor are all travelling companies alike."

"Do it! I support this idea fully! Let's go Kenosha!"

"The downtown mall should (or must) be removed!"

"Bravo!!!"

"Get some Good entertainment in this town - No Riff Raff Garbage."

"Go for It!"

"We are looking forward to seeing top name country and western shows in Kenosha so we don't have to travel to Chicago or Milwaukee."

"We need something like this in Kenosha."

"My 12 year old daughter would like there to be things for her too!!"

"Handicap access is important throughout facility!"

"No one books big bands into Kenosha anymore--Maynard, Bosie, etc. are still touring. If the big screen could be restored, I'd come to virtually any movie."

From Kenosha And Kenosha County - Response from Direct Mailing #2

"We enjoy the Lakeside Player's productions and do not want to see them displaced."

"Yes, please restore the Kenosha Theatre. I remember it well and would really enjoy seeing it used again for quality performances. Perhaps it could also be used for other purposes such as debates, forums, etc. It was a beautiful building and it could be again. Several theatres in other cities have been rejuvenated, so why not here?"

"I get season tickets for Racine Theatre Guild but would like good plays to be in Kenosha."

"I belong to the Racine Theatre Guild. Racine has much to offer that Kenosha just talks about, a great theatre plus professional acting and great production. I have belonged to Racine Theatre Guild for six year now. Anytime I go to see something in Kenosha, I'm disappointed."

"A wheelchair area for the handicapped."

"Really enjoy Lakeside Plays and Players. Also Racine Theatre Guild Plays."

"Remove the divider in the Gateway (Rhode) Opera House."

"We prefer Musical Stage Shows-- Oklahoma, Porgy and Bess, etc."

"My wife and I are recent season ticket holders for the Racine Theatre Guild."

"I prefer matinee performances. Would appreciate close, convenient parking, because I am handicapped. GOOD LUCK!! KENOSHA NEEDS THIS!!"

"Good musicals and theatre production such as at Lincolnshire. I would definitely attend. Those like Racine Theatre Guild and the local Kenosha Group are questionable. I've attended several and only a few are really good."

"I think the Rhode Opera House is a step in the right direction. My wife and I used to go to Racine Guild Players but are now enjoying plays here."

"I'm a Senior Citizen. I attend the performances at the Racine Theatre Guild. They offer a five-show season with Senior Citizens discounts."

"My friends and I are Senior Citizens and would attend entertainment if quality and the price isn't too high."

"The Rhode Opera House is a good place, but the location is the pits. No one wants to park or even walk in the area. The building should be torn down and a more arts-like format be installed."

"No food or drink allowed in the seating area. A clean and bright theatre is very important to a professional production group."

"I get all the entertainment I need through TV, however my wife enjoys entertainment much more than I do, so I find myself at many more events than I really care about."

"I attend all the Racine Theatre Guild Productions and enjoy them very much. Don't find the Rhode Theatre in Kenosha to be nearly as nice - facility wise."

"Two theatres in downtown Kenosha would not be financially feasible. The area around the theatres needs improvement to draw people into the area. Vacant stores and bars project a skid-row image."

"I don't believe Kenosha residents would support Top-Name entertainment. City is a Brown-Bagger lunchers, strickly a factory oriented class of individuals. You would have to educate a lot of them to reclassify "their values in life". However you have my vote to try."

"My attendance to some categories would depend on who it is and the quality of entertainment. Being that Kenosha is in the Racine, Milwaukee and Chicago area, the entertainment would have to be very good to compete. I presently belong to the Racine Theatre Guild."

"I go out-of-town many times a year to see entertainment. I prefer to stay in Kenosha. I've seen three Lakeside plays in the Rhode Opera House. I might go to an opera or art show if held in Kenosha. I would like to see the building after renovated completely. Please heat the building more when in use. I was cold each time I was there."

"We enjoy Lakeside Players Much More at the Rhode. Have attended for years also, RTC and Parkside."

"Have for some years subscribed to Milwaukee Reperatory Theatres and Racine Theatre Guild."

"Make sure the numbers are there (people numbers). I still don't see enough support for good/old top-name entertainment, especially in a limited seating facility. You'll have better success with "blue collar" entertainment. Kenosha seems destined to be discount mall, and dog-race capitol of America."

"Must have a friend that will be able to go with me - as I do not attend any functions now!! I am sure I will find one friend!!"

"Our combined income is only important to us. We are not rich but not poor either. I always resent that question. We find that people who are not well known sometimes give a better performance."

"Currently hold season tickets to Racine Theatre Guild performances of that nature are needed in Kenosha. Also live music does not exist in this community - greatly needed."



"I am an avid supporter of the arts, both financially and by attendance, but I feel that plans to restore the Kenosha Theatre are ill-conceived and doomed to ultimate failure if pursued. The place is an absolute mess - well beyond the worth of restoration. Look at the Chicago Theatre. It's now bankrupt. If studies do indicate enough interest to support an entertainment center in Kenosha, either a new one should be built from scratch or existing facilities should be used: Reuther, Parkside, Carthage. Further, I am philosophically opposed to the spending of public money for such a project."

"I currently belong to the Racine Theatre Guild. I would like to belong to a Kenosha Company if possible."

"Would be great to have this type of entertainment! Have always felt the need of this type of entertainment instead of all the bars in town."

"An excellent idea but would it be active community supportive. There would need to be "class acts" offered continuously over time. Local activities might be entered there. After-glow activity might be an idea."

"SUGGEST: Another use for theatre to take up slack times like days and week nights: work with nearby Holiday Inn to book conventions into their hotel and use theatre (charge some rent) as theatre style meeting space. Holiday Inn's meeting space is rather limited to smallish groups. Eventually theatre could expand nearby land into a lakeside convention center. Also suggest nationally known speakers like Leo Buscaglia, etc. I'm a tourism marketing professional interested in promoting the arts and promoting Kenosha."

"At present go with senior groups to out-of-town events."

"I am a season ticket holder of the Racine Theatre guild. I think that theatre group is Great! Hopefully Kenosha can produce something comparable."

"The theatre was very cold and musty, was uncomfortable. Will not attend anymore performances till this is corrected."

"I presently am a season ticket holder for the Racine Theatre Guild. I also attend performances at the Performing Arts Center and other Theatre performances in Milwaukee. I also annually attend the Lakefronts Arts Festival in Milwaukee. If the Kenosha Entertainment Center becomes a reality, I will certainly attend most performances."

"I think we can support both the Rhode Opera House and the Kenosha Theatre as a Performing Arts Center. I would very much like to see the Kenosha Theatre restored to its original grandeur. I saw the first show when it was opened in 1927."

"You must have professional management and quality performances. Note the Riverside in Milwaukee or the Pabst."

"It sure would be wonderful to have the real entertainment here in our own town - they have too much more to give the public in Racine - so why not here too? Thank you."

"It has to have a board or Management Group consisting of "Marketing Professionals"."

"I would like to see more musicals and comedy. We have good local talent here. The intense drama plays don't seem to attract big audiences. People want to feel happy when they go to a theatre or go out for the evening. We enjoyed Melody Tap in Milwaukee during the summer when Kenosha didn't have much theatre going on - now I hope Kenosha will present plays, etc. during the summer also. Thank you."

"I enjoy plays - music and am sure I would be attending if they were presented here."

"Am now season theatre guild ticket holder in Racine, WI."

"The Lakeside Theatre just doesn't cut it for my entertainment value - it's too cold, the accommodations aren't top notch."

"The Lakeside Players and Kenosha Symphony are two good examples of local talent that I enjoy and support."

"Since I have attended the Milwaukee Rap Theatre for many years and other events there, I would more likely continue to do so. I also support Racine Theatre Guild plays. If something would be produced in Kenosha which I have not seen I would certainly go to Kenosha."

"Kenosha needs this."

"Downtown Kenosha is a very undesirable place. Strange people, no parking. Go west of the city where development is. Kenosha's very narrow, and don't accept changes. The only chance for downtown is to tear down all BAD buildings, etc. It is scary."

"Really not interested in the Theatre. Go only and rarely to be with group who do go."

"We are already subscribers to the Milwaukee Symphony and the Racine Theatre Guild."

"We miss the Little Theatre very much, we attend Racine Guild now."

"I would suggest waiting until the plans for the marina are finalized (and maybe built) before going ahead with the restoration."

"I am enjoying my season tickets at Rhode Opera House and will get season tickets every year."

"We enjoy the live theatre, are Racine Theatre Guild members. We also enjoy symphonic."

"Would appreciate matinee performances."

"I currently have season tickets for the Racine Theatre and have enjoyed the dramas and comedy performances they have put on - I would not mind having season tickets to performances you are describing in the above questionnaire, but I would not give up my theatre attendance in Racine - they would have to be scheduled in coordination."

"I am very interested in seeing a loving, careful, restoration of both Kenosha and Gateway Theatres (Rhode Opera House). I recall attending stage productions - specifically at the Kenosha Theatre."

"With the accessibility of top name entertainment in Milwaukee - Chicago corridor, I question whether such a venture would be successful. I feel the people in the Racine/Kenosha area aren't looking for entertainment at this level in the numbers required. If something could be offered connected with a coupon it might have a chance."

"How soon? Good Luck."

From Racine And Racine County - Response from Controlled Mailing #2

"Thank you for your interest in me, and asking for my opinion. To be frank, I'm 81 years of age, retired in pretty good shape, but don't care to push myself to drive to Kenosha to see your live theatre performances, when we have them in Racine at the Racine Theatre Guild here at home. That's all I care to see or attend."

"We've attended musical and theatre performances in this and foreign countries. We are also season ticket holders in the Racine Theatre Guild. Advertising is important - you have to know what is available. Price and quality or professionalism go together for us. For a top price, we expect excellent entertainment and location. We enjoy local groups and expect it to be priced accordingly. Kenosha and Racine are more relaxed than Milwaukee. The theatre construction does not have to be downtown Milwaukee quality. Old, historic and clean makes a difference."

"Although I know the costs of putting on a live production - the price for an average person seems awfully high. To enjoy good, live theatre, should be for all the people, not just those who could easily afford it. Also, publicity is a big factor in promoting sometimes in Racine. I wouldn't know about a production happening in Kenosha."

"A theatre which has the capacity to seat 3,000 to 5,000 people or more with excellent acoustics and sightlines is very much needed in this area -- not like the Racine Festival Hall barn monstrosity which was constructed on our lakefront."

"I've never been in either facility. Perhaps an open house during the spring or summer in both buildings would help spark interest."

"We enjoy a good comedy."

"The Chicago Theatre closed - Riverside is slow - If I were an entertainer I would rather play to a small house that is full than a large house half empty."

"I most likely would readily support and attend said performances if I had someone to do so with."

"I think the idea is great. We should never let our landmarks and traditions fall by the wayside. I surely hope you are successful in this venture."

"Would not consider going out of Racine in bad weather."

"We have a very good theatre group in Racine - attend all of their productions - probably wouldn't go to Kenosha unless it was very top notch. The same for Symphony Orchestra. Would be interested in top notch Dance Production. Be aware that we are in-between Milwaukee and Chicago - plenty of entertainment is available now. We can't attend much more."

"Would appreciate matinee performances."

"Because I am arthritic and have a handicapped parking permit availability of the performances is very important. Good Luck! Hope this will happen!"

"I would appreciate additional information on the Kenosha Theatre as we have just been relocated here from Illinois."

"Am appreciative to learn of your efforts - we should try to get this culture circulated among the school children so that the fine arts will be instilled in them at an early age. Activities geared for all schools."

"Matinees at Senior Citizen prices. Safe parking for cars. Theatre warm enough in winter."

"Patronize only Union Music."

"As a Senior Citizen, I wouldn't care to go to evening performances of anything - I don't like to drive at night. Might be tempted by daytime performances."

"I would have difficulty getting there."

"I will be 70 years in one month, my wife will be 70 in approximately one year. On Social Security, no pension. We do receive modest amount from investments and interest in our Savings. Price is always of concern so would be in favor of Senior prices and early performances."

"It would be nice to have a theatre with "Opening Act" type performers at a reasonable price. I think it would attract enough people to fill a medium size or small theatre. Also, I think an occasional comedy show (stand-up comedians, comedy troupes, etc.), would be fun."

"We've attended Melody Tap for many years until it closed. Attend the Racine Little Theatre plays and last summer its symphony on the lakefront. In the past, we've often attended performances at the PAC in Milwaukee. We enjoy this as it is closer to our home and easy to get to."

"We are season ticket holders at the Winstrum Theatre, Racine Theatre Guild Productions, and have been for over five years - maybe six or seven years. We get all the entertainment we want without looking for more. We square dance in season (Sept. through May) several nights a week. Entertainment Centers like shopping malls can reach a point of saturation, then super-saturation, then -- SPLAT!!"

"Could also be used for educational talks - wild-life - etc. Travel films and speeches. Also - a question get together, with our Senators and Congressmen."

"Being retired and not as apt to go out if weather is bad will affect our participating. We do prefer reserved seats as waiting in line and taking "pot-luck" takes the pleasure out of the event."

"Specials for Senior Citizens only at reduced prices. Hold early afternoons so end during daylight. Good Luck in your endeavor!"

"Sounds very interesting."

"Evening performance would be out for me. Matinee performance would be fine."

"My attendance at performances would depend upon our entertainment schedule. Love live entertainment!"

"As we live in Northern Racine County we seldom attend activities in Kenosha County."

"Theatres should have a "crying room" for babies - just like in the "40's and 50's"!! Lots of late blooming parents have babies to take to movies today."

"The three main obstacles to my enjoyment of live entertainment are ticket prices, scheduling, that doesn't allow me to invite one or more of my friends along, and not knowing how to reach the location (by car, bus, or train). Saturday and Sunday afternoons would be ideal times. Simple directions or diagrams in your ads would help out-of-towners find you. Actually, I've never seen an ad for either facility in Racine newspapers."

"I am involved in community theatre in Racine and have toured abroad with this group. Have travelled to both Milwaukee and Chicago to see live theatre performances. Recently attended Broadway shows (3) over long weekend trips to New York. Returned recently from Key West where I attended local theatre - so as you can see, would be very interested in professional theatre locally - Good Luck!"

"Right now we go to Chicago, Milwaukee, Fort Atkinson, and Libertyville, IL for entertainment plus Racine Theatre Guild."